

## **Notice of Rezoning Bylaw**

This Information Package has been compiled to provide further details about the proposed Zoning Bylaw Amendment for the subject property.

**Meeting Date:** **August 19, 2024**  
**Subject Properties:** 32968, 32972 & 32980 2<sup>nd</sup> Avenue  
**Planning File:** R22-001

If you have questions regarding this information, please contact Planning at (604) 820-3748 or [planning@mission.ca](mailto:planning@mission.ca).

(Project File: P2021-142)

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**CITY OF MISSION**

**BYLAW 6154-2023-5949(96)**

A Bylaw to amend "District of Mission  
Zoning Bylaw 5949-2020"

WHEREAS, under the provisions of the *Local Government Act*, a Council may, by bylaw, divide the municipality into zones and regulate the use of land, buildings and structures within such zones;

AND WHEREAS the Council of the City of Mission has adopted "District of Mission Zoning Bylaw 5949-2020" and amended same from time to time;

AND WHEREAS the Council of the City of Mission deems it advisable and in the public interest to amend the Zoning Bylaw;

NOW THEREFORE the Council of the City of Mission, in open meeting assembled, ENACTS AS FOLLOWS:

1. This Bylaw may be cited for all purposes as "City of Mission Zoning Amending Bylaw 6154-2023-5949(96)."
2. "District of Mission Zoning Bylaw 5949-2020" as amended, is hereby further amended by:
  - a) Rezoning the properties located at 32968, 32972, and 32980 - 2nd Avenue and legally described as:  
Parcel Identifier: 011-605-731  
Lot 4 Block 27 Section 21 Township 17 New Westminster District  
Plan 332  
Parcel Identifier: 000-951-749  
Lot A (X131534) Block 27 Section 21 Township 17 New Westminster  
District Plan 332  
Parcel Identifier: 000-643-980  
Lot 7 Block 27 Section 21 Township 17 New Westminster District  
Plan 332  
Parcel Identifier: 000-643-998  
Lot 8 Block 27 Section 21 Township 17 New Westminster District  
Plan 332  
from Multi-unit Duplex 465 (MD465) Zone and Mission City Downtown Three (DT3)  
Zone to Mission City Downtown Two (DT2) Zone; and
  - b) amending the zoning maps accordingly.

READ A FIRST TIME this \_\_\_\_ day of \_\_\_\_\_, 202~~2~~

READ A SECOND TIME this \_\_\_\_ day of \_\_\_\_\_, 202~~2~~

READ A THIRD TIME this \_\_ day of \_\_\_\_\_, 202~~x~~

APPROVED by the Ministry of Transportation and Infrastructure this \_\_ day of \_\_\_\_\_, 202~~x~~

ADOPTED this \_\_ day of \_\_\_\_\_, 202~~x~~

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PAUL HORN  
MAYOR

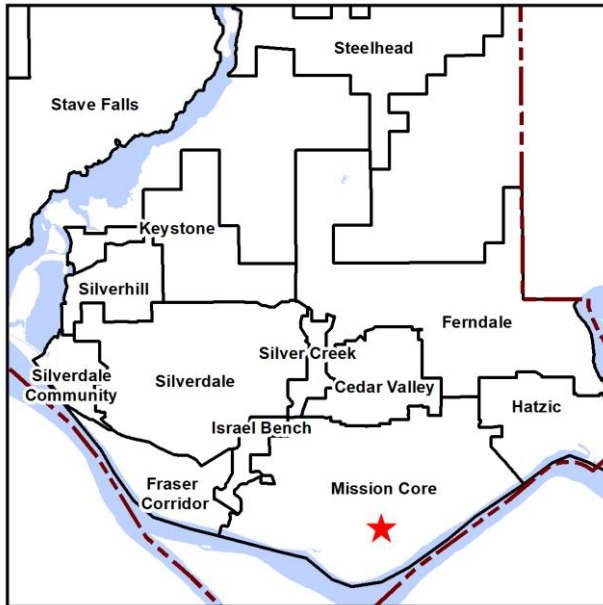
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JENNIFER RUSSELL  
CORPORATE OFFICER

DRAFT

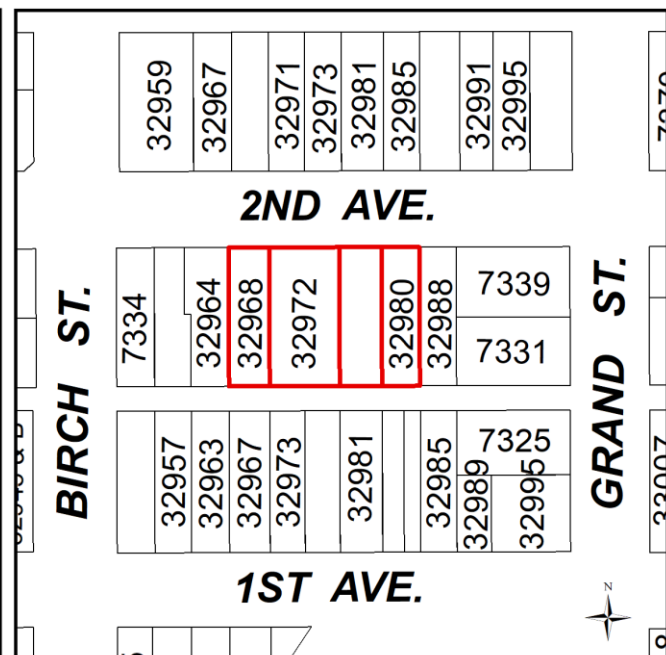
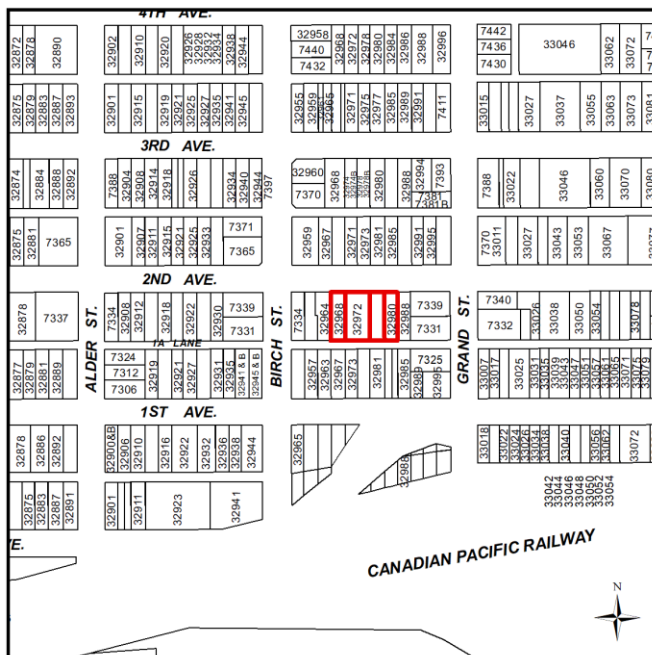
Project: P2021-142  
Application Numbers: R22-001 S22-001 DP22-001

**Subject: Development Application – 32968, 32972 & 32980 2nd Avenue**



**DATE:** July 2, 2024  
**BYLAW / PERMIT #:** 6154-2023-5949(96)  
DV22-019  
**PROPERTY ADDRESSES:** 32968, 32972 & 32980 2<sup>nd</sup> Avenue  
**LOCATION:** Mission Core  
**CURRENT ZONING:** Multi-unit Duplex 465 Zone (MD465) and Mission City Downtown Three Zone (DT3)  
**PROPOSED ZONING:** Mission City Downtown Two Zone (DT2)  
**CURRENT OCP:** Mission City Downtown  
**PROPOSED OCP:** No change  
**PROPOSAL:**

To rezone and consolidate the properties for the construction of an apartment building containing 56 residential units.



## Recommendation(s)

This report is for information purposes only. No action is required. Notification of the public will begin, and following notification, this application will be forwarded for consideration.

## Purpose

To accommodate the construction of a five-storey apartment building containing 56 residential units. The project plans are included in the Development Permit as **Attachment A**. A cover letter prepared by the applicant has been included as **Attachment B** at the applicant's request.

This project was originally presented to Council for first and second reading of the zoning bylaw amendment on December 4, 2023, and was deferred, with Council requesting that the applicant hold a public information meeting to better engage with the community. The applicant has since held a public information meeting and has requested that the project be brought back for Council consideration of the zoning amendment.

## Rationale of Recommendation(s)

The proposal is consistent with the Official Community Plan (OCP) and MissionCity Downtown Action Plan.

- The development site is designated as Mission City Downtown in the OCP. The designation envisions *"a range of mixed-use, residential, commercial, civic, educational, and community spaces to support a thriving local economy"*. OCP Policy 8.1.19 encourages and supports *"a mix of medium- and high-density residential, institutional, and commercial uses"*. High rise (greater than four-storeys) multi-unit residential buildings are permitted and a floor space ratio (FSR) of up to 4.5 is allowed. This development proposes a height of five-storeys, an FSR of 2.08, and will help meet the community's residential needs.
- The MissionCity Downtown Action Plan identifies five fundamental characteristics for a successful downtown, one of which is the development of a mix of high-density land uses that offer a downtown living experience. This proposal meets the goals and objectives of this plan by providing a high-density residential development in the downtown area with access to underground parking.

## Site Characteristics and Context

### Applicant

- Western Canadian Properties Group Ltd.

### Property Sizes

- In total, the subject site is 1,868 sq m (20,106 sq ft).
- While only displaying three separate addresses, the subject site consists of four distinct properties as 32980 2<sup>nd</sup> Avenue contains two PIDs.
- The site is located on a hillside and slopes downward to the south-east. Each of the three addressed properties contains a single-family residence. All three of these buildings are older than 75 years old.

### Neighbourhood Character

- The subject site is located on the border of Mission's Downtown neighbourhood.

- The site is surrounded by single-family residences in its immediate vicinity. The properties to the west, south, and east are designated as Mission City Downtown, while the properties to the north are designated as Attached Multi-unit Residential. Many commercial businesses are located one block away to the southeast along 1<sup>st</sup> Avenue and Lougheed Highway. The development fits into the long-term plan for this area which forecasts multi-family residential and mixed-use commercial/residential.

### Parks and Trails

- There are no parks in the immediate vicinity, but the Mission Leisure Centre is located approximately 600 m to the north.

### Servicing

- Development of this area will require servicing, as outlined under "Referrals".

### **Development Permit**

- DP22-001 – MissionCity Downtown Development Permit Area
- The site is located within Development Permit Area I: MissionCity Downtown Development Permit Area. The intent of the development permit is to provide a flexible and innovative framework to encourage a high standard of building design, form and character, site compatibility, and site aesthetics in the Mission Downtown. Development Permit DP22-001 is attached as **Attachment A**.
- The following table provides a summary of the design guidelines and identifies how the proposed development is meeting these guidelines. These design aspects are performance based and do not include the requirements stipulated by the Zoning Bylaw, which are more prescriptive in nature.

Development Permit Area I Design Guidelines	Meets Requirements
Orient main entrances, windows, balconies and street level uses to directly overlook adjacent streets and amenity spaces.	✓
Apartment lobbies and entries shall be clearly visible from the fronting street and have direct sight lines into them.	✓
Vehicular and service functions and other "back of house" activities should remain primarily on the lane where possible, so as not to conflict with pedestrian oriented street activity.	✓
Use a higher level of detail to emphasize primary entrances and to provide punctuation in the overall streetscape treatment.	✓
Building materials should be integrated and consistent and respect the nature and style of Mission Downtown such as brick and horizontal wood siding.	✓
Balconies are designed as an integral part of the building.	✓
Consider appropriate safety and natural surveillance measures (such as substantial lighting, visual access, and sight lines) per Crime Prevention Through Environmental Design (CPTED) principles.	✓
Incorporate individual entrances to ground floor residential units that are accessible from the fronting street.	✓
Step upper storeys (3 storeys or higher) a minimum of 1.5 m in order break up the visual massing.	

Development Permit Area I Design Guidelines	Meets Requirements
Set back buildings a minimum of 2 m and a maximum of 5 m from the street to create a strong street interface.	
Respect, restore, and/or replicate the area's historic qualities and character with regards to architectural detail.	

- Consistent and respectful building materials are proposed in the form of brick masonry and Hardi panels. A large dark metal ribbon will wrap around the Hardi panel sections of the building to create visual interest.
- Human scale design has been thoughtfully included through ground orientated units with large patios. The patios allow for more activation and usage by residents with some accessible from the street. The development minimizes the amount of space between the building and the street and creates a sense of good street definition and enclosure.
- Vehicle parking is provided in an underground parkade that is accessed off the rear lane so as to not conflict with pedestrian activity. Waste collection is also provided off the rear lane. Bicycle parking is provided in a secure room accessed at ground level. Note that the developer's cover letter (**Attachment B**) states that they are willing to provide off-site parallel parking in front of the property, however this would not be permitted. This location is a public road right of way and parking cannot be reserved strictly for this development.
- Common outdoor amenity areas are provided to the east and rear of the building and include benches, tables, and green space. Two indoor amenity rooms are provided in the form of a party room/library and a gym.
- There are three areas where the development guidelines are not being met.
  - MissionCity Downtown Design Guidelines 4.1.4 state that upper storeys (over 3 storeys or higher) should be stepped back a minimum of 1.5 m in order to reduce the visual mass of large buildings and ensure a sensitive transition to adjacent buildings and open spaces. The design of this building does not step back its upper storeys.
  - MissionCity Downtown Design Guidelines 4.1.2 prescribe that buildings should be set back a minimum of 2 m and a maximum of 5 m in order to create good street definition and a sense of enclosure. The proposal has the building set back 8 m which could lead to incongruity with surrounding buildings that follow the guidelines in the future.
  - MissionCity Downtown Design Guidelines 4.1.5 asks applicants to respect, restore, and/or replicate significant architectural detail where it contributes to and reinforces the area's historic and qualities and character. The modern architectural style of this building does not reflect the heritage influence of the Mission Downtown location.

In a multi-family residential development such as this, the intent of the Development Permit Guidelines is to achieve the highest quality of development possible given the product and location of the development. The building meets the majority of the design guidelines and staff are able to support it.

### Common Indoor Amenity Space Variance

- The applicant is proposing to vary Section 202.H.1.a of the Zoning Bylaw in order to reduce the rate at which common indoor amenity space is provided from 2.8 sq m (30 sq ft) per dwelling unit to 2.3 sq m (24.8 sq ft) per dwelling unit. Based on 56 dwelling units, this development would typically require 156 sq m (1,679 sq ft) of common indoor amenity space, but as the applicant is only providing 129 sq



m (1,384 sq ft), they are requesting a reduction in common indoor amenity space.

- The applicant's rationale for this request is that they are providing a greater amount of common outdoor amenity space than is required. The Zoning Bylaw does not require any common outdoor amenity space be provided in the DT2 Zone, and yet the applicant is providing 322 sq m (3,469 sq ft) of common outdoor amenity space. This is provided in the form of green space to the east of the building and a patio off the amenity room.
- Staff support the variance for a reduction in required indoor amenity space as there is a significant amount of outdoor amenity space being provided. As such, staff have included this variance within the Development Permit.

### **Waste Management Variance – DV22-019**

- The applicant is requesting a variance to the Development and Subdivision Control Bylaw 5650-2017, Schedule L – Waste Management Design Guidelines, in order to permit waste collection from the rear City-owned lane. The draft development variance permit is included as **Attachment C**. The variance permit proposes to:
  - Reduce the minimum unobstructed turning radius on access routes from 12.0 m to 5.8 m.
  - Reduce the minimum vehicle clearance throughout vehicle access routes from 4.5 m to 3.5 m.
  - Reduce the minimum width of the collection/loading area from 6.0 m to 4.5 m.
  - Permit collection service and the collection/loading area to extend into the City-owned lane.
  - Permit overhead containers to be collected from the side of the waste collection vehicle.
  - Permit slopes in the collection/loading area, on access roads, and where movement of overhead bins on casters is required.
- This variance will allow greater separation between waste collection vehicles and residential patios, windows, and doors. This will minimize noise, odor, and general disturbance for residents and neighbours while making the most efficient use of the site. Waste collection will function similarly to the Mission Walk building on 3<sup>rd</sup> Avenue, which is another apartment building with waste collection service off the lane.
- As the City does not perform snow-removal services in the lane, a third-party contractor will be retained by the building in order to remove snow from the lane.
- The Engineering, Environmental Services, and Fire Department are supportive of the variance. It was noted that permitting waste collection off the lane will change vehicle circulation in the area. The Engineering Department is requiring a traffic impact assessment as a condition for rezoning/development and the lane will be included in this review.

### **Referrals**

Engineering Department:	The Engineering Department has no objection to this proposal, subject to the completion of Engineering Servicing requirements, as outlined in <b>Attachment D</b> .
Environmental Services:	No concerns.
Building Division:	No concerns.
Mission Fire Rescue Services:	No concerns.

Long-Range Planning Division:	The Long-Range Planning Division expressed concerns regarding the design of the building by citing the ways it does not follow the MissionCity Design Guidelines. They also recommend some form of heritage preservation be granted to the site, as outlined below under Development Considerations.
School District 75:	No concerns.
BC Transit:	BC Transit supports the proposed development application as it is consistent with the OCP and transit supportive land use practices.
MOTI:	No concerns.

## **Development Considerations**

### Downtown Development Incentive Program and Community Amenity Contributions

The subject property is included within the Downtown Development Incentive Program (DDIP) boundary and is therefore eligible for various financial incentives. While new applications are not eligible for the DDIP, it was recommended that this project should be able to continue its participation in the program as it was already in-stream. The program's incentives include property tax exemption, reduction in municipal development application fees, reduction in the required number of parking stalls, and a conditional relief from contributing to Community Amenity Contributions (CACs). The project will need to submit a complete Building Permit application prior to December 31, 2024, and to complete construction by December 31, 2026, in order to receive the program's incentives. If the deadline is not met the applicant has volunteered to contribute \$7,200 per new lot/unit in accordance with Policy LAN.40(C).

### Heritage Preservation

There are three residential buildings on the site which are over 75 years old and reflect the historical nature and value of this area. 32980 2<sup>nd</sup> Avenue was constructed in 1914 and was occupied by Mrs. Agnes Fabry, widow of the manager of Bellevue Hotel, and is listed on the Heritage Inventory List. 32968 and 32972 2<sup>nd</sup> Avenue are not listed on the Heritage Inventory List but were built during a similar time period.

The Long-Range Planning Division has recommended that prior to demolition, the applicant be required to provide the City with photos of the building exteriors, and where possible, a brief summary of the history and design characteristics of the buildings. A plaque could also be installed along 2<sup>nd</sup> Avenue that provides images and brief commentary on the buildings that are proposed for demolition.

The applicant has followed this recommendation and is proposing to install a historical plaque, provide photo documentation to the City, and incorporate historical artwork or a historical architectural feature paying homage to the original homes into the lobby of the building.

### Neighbourhood Engagement

As per LAN.66(C) – Neighbourhood Engagement Policy, the applicant has informed the neighbouring community about the proposal through the neighbourhood engagement process by both preparing a mail-out letter and holding a public information meeting.

The developer prepared an information letter detailing their proposal and it was sent out to all properties within a 152 m radius of the site. This amounted to 180 letters in total. As a result of this notification, the applicant had one neighbour contact them with concerns about the future lane infringing on their parking and asked questions about the timeline for demolishing the existing homes.

The application was presented to Council on December 4, 2023, and was deferred with Council

requesting the applicant hold a public information to better engage with the community. The applicant followed this request and the meeting was held on January 23, 2024, at the Mission library. It was attended by approximately eight residents. The primary concern raised by attendees centered on the potential lack of parking for the project.

### Transit Contributions

The applicant has stated that they are willing to voluntarily contribute \$22,000 to construct a bus shelter at a nearby transit stop to encourage the use of public transit in the community. They are also offering to provide all purchasers within the building with a complementary one-year transit pass. However, City staff have no way of guaranteeing the purchasers receive these transit passes and so this contribution will be left up to the developer.

### Tree Management

The applicant is proposing to plant 10 trees and 143 shrubs on the subject site as part of their landscape proposal. The full landscape plan is included within the Development Permit and is attached as **Attachment A**.

### Housing Needs Projections

If this development is approved, it will add 56 market home ownership dwelling units to the City's housing stock.

### Transit

The proposed development is approximately 200 m from a transit stop.

## **Financial Implications**

Due to the subject property's inclusion within the DDIP boundary, there will be a marginal reduction in municipal revenue associated with this project. The reduced revenue is attributed to the property tax exemption, municipal fee reduction, and a community amenity contribution relief period (during which community amenity contributions will be refunded if the project is completed by December 31, 2026).

## **Communication**

Communication action, as listed below, is in accordance with Policy LAN.03 Development Notification Signs, Land Use Application Procedures and Fees Bylaw 3612-2003, and the *Local Government Act*.

In accordance with Policy LAN.03 Development Notification Signs, Land Use Application Procedures and Fees Bylaw 3612-2003, and the *Local Government Act*:

- The applicant has posted one development notification sign on the property, and
- A Public Hearing Notification will be sent to all occupiers and owners of properties within 152 m from the development site notifying them of the public hearing details.

## **Attachments**

Attachment A:	Draft Development Permit (DP22-001)
Attachment B:	Applicant's Cover Letter
Attachment C:	Draft Development Variance Permit (DV22-019)

Attachment D:        Engineering Department Comments

**Sign-Offs**

A handwritten signature in black ink, appearing to read "Rob Publow".

Rob Publow, Manager of Planning

JH /

**Approved for Inclusion:**     Mike Younie, Chief Administrative Officer

**CITY OF MISSION  
DEVELOPMENT PERMIT DP22-001**

Issued to: WCPG Lots 16 Ltd., Inc. No. BC1306573  
(Owner as defined in the Local Government Act,  
hereinafter referred to as the Permittee)

Address: 202 – 930 West 1<sup>st</sup> Street, North Vancouver, BC V7P 3N4

1. This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This Development Permit applies to and only to those lands within the Municipality, and more particularly known and described as below, and any and all buildings, structures and development thereon:

Address: 32968 2<sup>nd</sup> Avenue  
Parcel Identifier: 011-605-731  
Legal Description: Lot 4 Block 27 Section 21 Township 17 New Westminster District Plan 332

Address: 32972 2<sup>nd</sup> Avenue  
Parcel Identifier: 000-951-749  
Legal Description: Lot A (X131534) Section 21 Township 17 New Westminster District Plan 332

Address: 32980 2<sup>nd</sup> Avenue  
Parcel Identifier: 000-643-980  
Legal Description: Lot 7 Block 27 Section 21 Township 17 New Westminster District Plan 332

Address: 32980 2<sup>nd</sup> Avenue  
Parcel Identifier: 000-643-998  
Legal Description: Lot 8 Block 27 Section 21 Township 17 New Westminster District Plan 332

3. The above property has been designated as **Development Permit Area I Mission City Downtown** in the Official Community Plan.

The said lands are zoned Mission City Downtown Two (DT2) Zone pursuant to “City of Mission Zoning Bylaw 5949-2020” as amended.

“City of Mission Zoning Bylaw as amended is hereby varied in respect of the said lands as follows:

- (a) Amend Section 202.H.1.a to reduce the rate at which common indoor amenity space is provided from 2.8 sq m per dwelling unit to 2.3 sq m per dwelling unit.

“City of Mission Zoning Bylaw” as amended is hereby supplemented in respect of the said lands as follows:

Building design, siting and landscaping plans to be as shown on Drawings Numbered A0.0 to A2.1 inclusive, and landscape drawing L1 to L2 which are attached hereto and form part of this permit.

Minor changes to the aforesaid drawings that do not affect the intent of this Development permit and the general appearance of the buildings and character of the development may be permitted, subject to the approval of the Municipality.

4.

- (a) The said lands shall not be built on and no building shall be constructed, installed or erected on the subject property, unless the building is constructed, installed or erected substantially in accordance with development plans numbered A0.0 to A2.1 inclusive, prepared by Lovick Scott Architects (hereinafter referred to as "the plans"), unless approval in writing has been obtained from the Municipality to deviate from the said development plan.
- (b) Access to and egress from the said lands shall be constructed substantially in conformance with the plans.
- (c) Parking and siting thereof shall substantially conform to the plans.
- (d) The following standards for landscaping are imposed:
  - (i) All landscaping works and planting materials shall be provided in accordance with the landscaping plan and specifications thereon, which form part of this permit and are attached hereto as Drawing Numbers L1 to L2 prepared by KD Planning & Design Ltd.
  - (ii) All planting materials provided shall be able to survive for a period of one (1) year from the date of the site approval by the Municipality.

5. As a condition of the issuance of this development permit, the Municipality must have in its possession, prior to issuance of a building permit for this development, security as set out below to ensure satisfactory provision of landscaping in accordance with the terms and conditions as set forth in Clauses 5 (b) and (c) below. It is acknowledged that, at the time of issuance of this development permit, the municipality does not have such security in its possession. Any prospective purchaser or developer should be aware that this requirement will need to be fulfilled prior to issuance of a building permit for the development outlined in this permit.

- (a) An Irrevocable Letter of Credit in the amount of \$107,258.80 for the purpose of:
- (b) A condition of the posting of the security is that should the Permittee fail to carry out the works or services as herein above stated, according to terms and conditions of this permit within the time provided, the Municipality may use the security to complete these works or services by servants, agents or contractors, and any surplus shall be paid over to the Permittee. If the security deposit is insufficient to cover the actual cost of completing the said works, then the Developer shall pay such deficiency to the Municipality immediately upon receipt of the Municipality's bill for same.
- (c) The Permittee shall complete the landscaping works required by this permit within six (6) months of the occupancy permit being issued for the building(s) / addition. Within this six (6) month period, the required landscaping must be installed by the Permittee, and inspected and approved by the Municipality.

If the landscaping is not approved within this six (6) month period, the Municipality has the option of continuing to renew the security until the required landscaping is completed or has the option of drawing the security and using the funds to complete the required landscaping. In such a case, the Municipality or its agents have the irrevocable right to enter into the property to undertake the required landscaping for which the security was submitted.

If the landscaping is approved within the six (6) months or thereafter in accordance with the preceding paragraph, without the Municipality having to draw the security, 90% of the original security will be returned to the Permittee.

A holdback of 10% of the original security will be retained until a final inspection is undertaken within 12 months of the date of the original inspection approval was given to the landscaping. If the landscaping receives approval at final inspection, the 10% holdback will be returned to the Permittee. If, after the final inspection, approval of the landscaping

is not given, the Municipality has the option of continuing to renew the security until the required landscaping is approved or has the option of drawing the security and using the funds to complete the required landscaping. In such a case, the Municipality or its agents have the irrevocable right to enter onto the property to undertake the required landscaping for which the security was submitted.

6. The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this permit and any plans and specifications attached to this permit shall form a part hereof.
7. This permit shall lapse if the Permittee does not substantially commence the construction of the first phase of a phased development permitted by this permit within two (2) years of the date of this permit.
8. The terms of this permit or any amendment to it, are binding on all persons who acquire an interest in the land affected by this permit.
9. This permit is not a building permit.

AUTHORIZING RESOLUTION NO. [Click here to type resolution number] passed by the Council on the [Click here to type day of the month] day of [Click here to type month] , [Click here to type year] .

IN WITNESS WHEREOF this Development Permit is hereby issued by the Municipality signed by the Mayor and Corporate Officer the [Click here to type day of the month] day of [Click here to type month] , [Click here to type year] .

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MAYOR

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CORPORATE OFFICER

Development Permit DP22-001



SUMMIT ON SECOND - 32972 2ND AVE. MISSION, BRITISH COLUMBIA



DRAWING LIST:

ARCHITECT

LOVICK SCOTT ARCHITECT LTD.  
3707 1st AVENUE,  
BURNABY, B.C., V5C 3V6  
(tel) 604.298.3700  
(email) dstang@lovickscott.com

- A0.0 COVER SHEET
- AS1.0 CONTEXT PLAN
- AS2.0 SITE PLAN
- A1.0 PARKING PLAN
- A1.1 FLOOR PLAN - GROUND LEVEL
- A1.2 FLOOR PLANS - 2ND TO 5TH LEVEL
- A1.3 ROOF PLAN
- A2.0 EXTERIOR ELEVATIONS
- A2.1 EXTERIOR ELEVATIONS

CIVIL

KM CIVIL CONSULTANTS LTD.  
#400 - 34077 GLADYS AVENUE,  
ABBOTSFORD, B.C.  
(tel) 604.853.8831

- SHEET 1 COVER SHEET
- SHEET 2 GENERAL NOTES
- SHEET 3 KEY PLAN
- SHEET 4 SITE GRADING PLAN
- SHEET 5 SITE SERVICING PLAN
- SHEET 6 CONSTRUCTION DETAILS

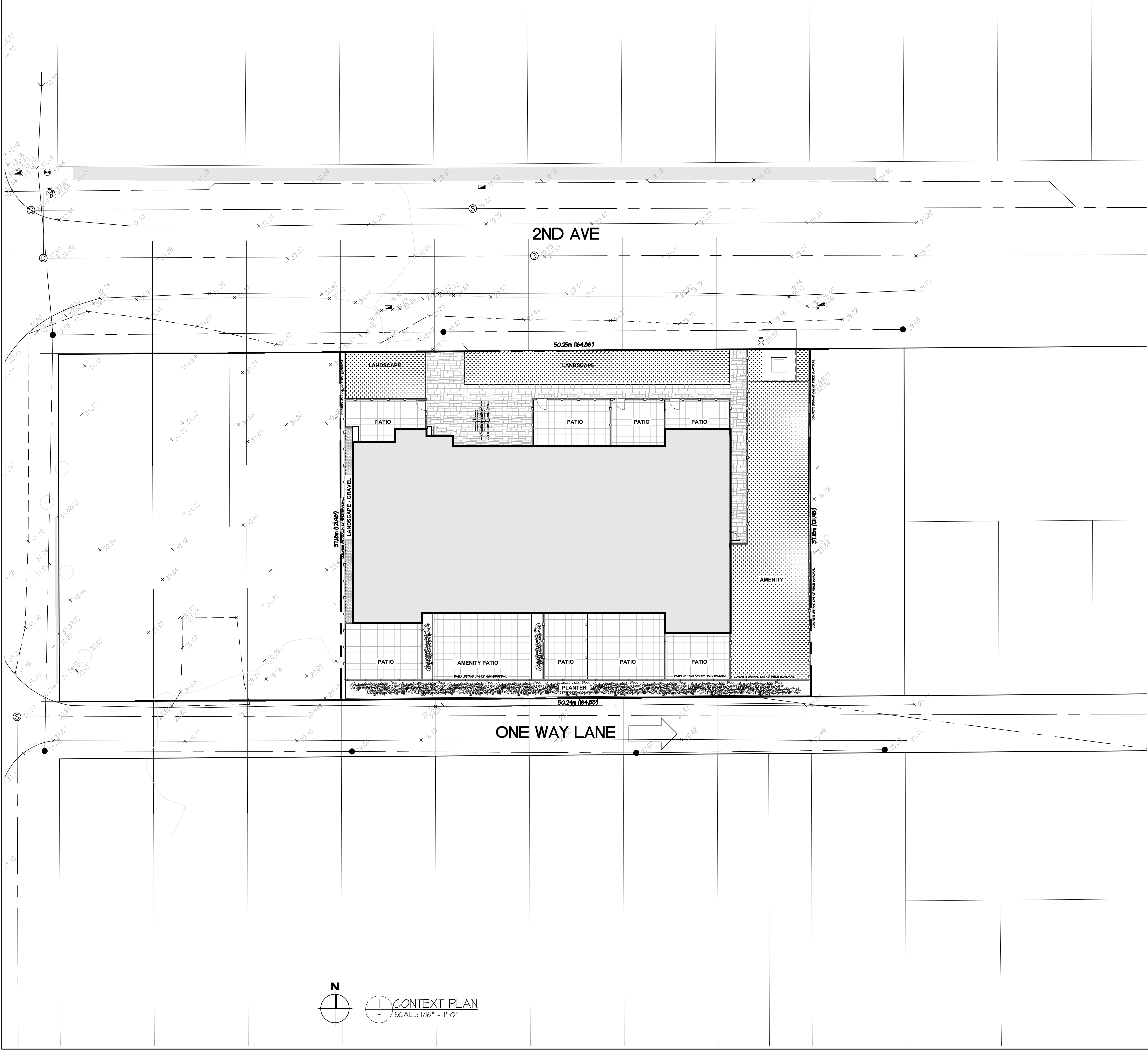
LANDSCAPE

KD PLANNING & DESIGN LTD.  
#400 - 34077 GLADYS AVENUE,  
ABBOTSFORD, B.C.  
(tel) 604.853.8831

- L1 LANDSCAPE PLAN DETAILS AND NOTES

REISSUED FOR DEVELOPMENT PERMIT- MAY 19TH, 2023





06	05/19/23	RE-ISSUED FOR DP
05	04/12/22	RE-ISSUED FOR DP
04	06/06/22	ISSUED FOR HYDRO DESIGN INTAKE
03	03/01/22	ISSUED FOR DP
02	12/24/21	RE-ISSUED FOR REZONING
01	11/30/21	ISSUED FOR REZONING
REV	DATE	DESCRIPTION

CONSULTANT

CONSULTANT SEAL

CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE. DRAWINGS SHALL NOT BE SCALED.

ARCHITECT



3707 1ST AVENUE  
BURNABY, BC V5C 3V6  
ADMIN@LOVICKSCOTT.COM  
604 298 3700 WWW.LOVICKSCOTT.COM  
MEMBER OF THE AIBC, AAA, SAA, MAA  
ARCHITECTURAL SEAL

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DRAWN BY DS PROJECT APPROVED --

SUMMIT ON SECOND

32968, 32972, 32980 2nd AVE.  
MISSION, BRITISH COLUMBIA

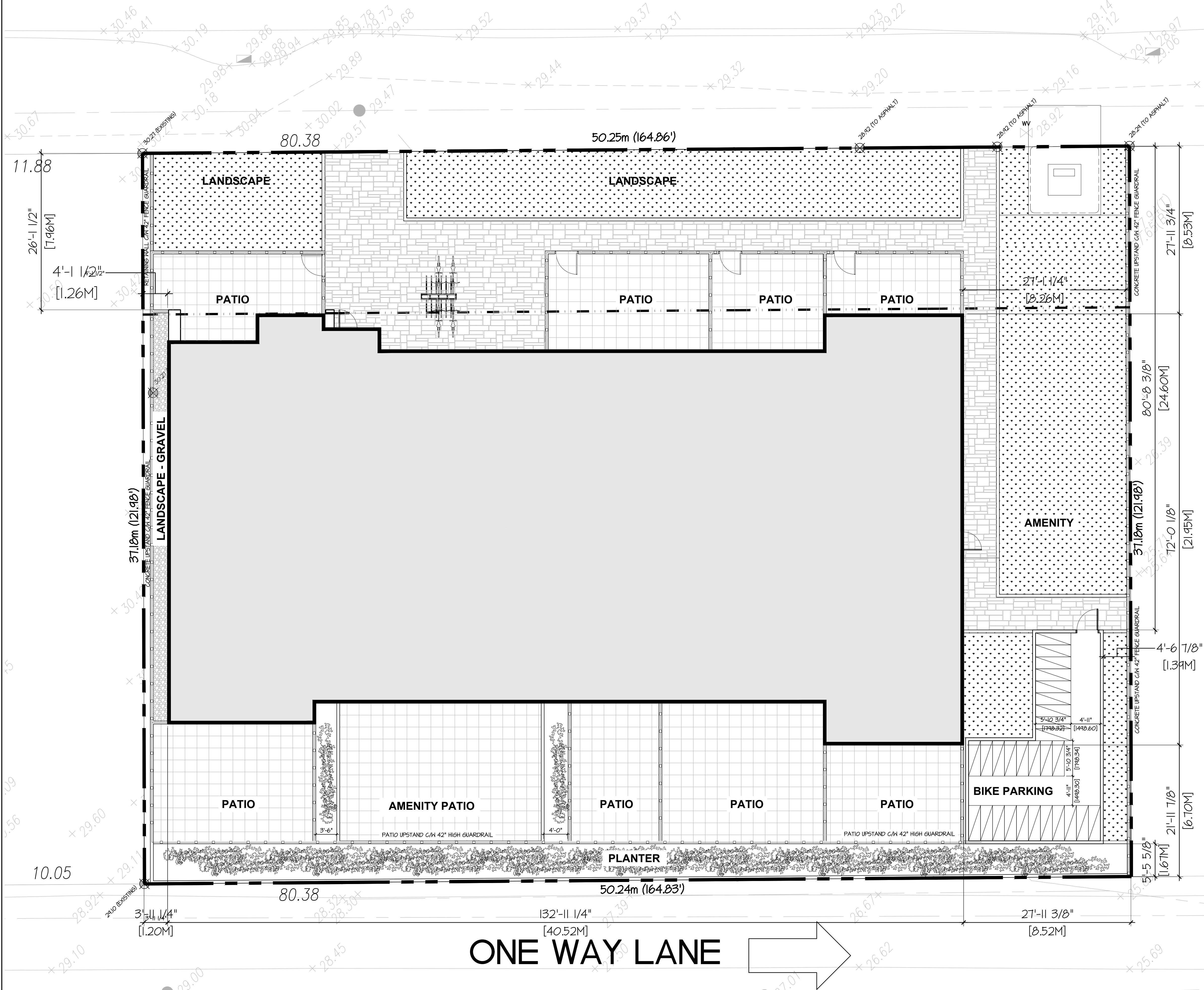
DRAWING

CONTEXT PLAN

PROJECT NUMBER	DRAWING NUMBER
21-038	ASI
SCALE	
1/16" = 1'-0"	
DATE	REVISION
APRIL 2021	MAY 2023

SUMMIT ON SECOND - 21-038





SITE STATISTICS:				
ADDRESS:	32468, 32472, 32480 2ND AVE. MISSION BC			
SITE AREA:	0.181 Ha 1,868 SqM. 20,106 SqFT.			
PROPOSED OCP DESIGNATION:	DP AREA I - MISSION CITY DOWNTOWN			
EXISTING ZONING:	MD465 & DT3			
PROPOSED ZONING:	DT2			
LOT COVERAGE ALLOWED:	100%			
LOT COVERAGE PROPOSED:	778.10 SqM. (8375.40 SqFT.) / 1,868 SqM. (20,106 SqFT.) = 41.65%			
DENSITY ALLOWED:	4.5 FSR			
DENSITY PROPOSED:	3,841.40 SqM. (41,806.80 SqFT.) / 1,868 SqM. (20,106 SqFT.) = 2.08 FSR			
AMENITY AREA REQUIRED:	= 2.8 SqM / UNIT (INDOOR) - 2.8 X 56 UNITS = 156.80 SqM. (1,681.18 SqFT.)			
AMENITY AREA PROVIDED:	= 232.00 SqM. (2,500.60 SqFT.) EXTERIOR (EAST) = 40.00 SqM. (428.00 SqFT.) AMENITY PATIO (SOUTH) = 130.10 SqM. (1,407.00 SqFT.) INTERIOR (GROUND LEVEL)			
TOTAL:	= 452.10 SqM. (4,876.60 SqFT.)			
SETBACKS:	ALLOWED	PROPOSED BLDG	PROPOSED W/G	PROPOSED BIKE
FRONT YARD (NORTH):	0.0m (0'-0")	1.96m (26'-1 1/2")	5.6m (1'-10 1/8")	24.6m (80'-8 1/2")
REAR YARD (SOUTH):	0.0m (0'-0")	6.80m (22'-11 7/8")	0.5m (0'-2")	1.61m (5'-5 5/8")
SIDE YARD (EAST):	0.0m (0'-0")	8.52m (27'-11 1/2")	3.1 (1'-0 1/4")	1.39m (4'-6 7/8")
SIDE YARD (WEST):	0.0m (0'-0")	1.2m (3'-11 1/4")	3.0m (1'-0")	N/A
BUILDING HEIGHT:	21.3m (70'-0")	17.64m (57'-8 1/2")	N/A	3.0m (9'-10")

**BUILDING INFORMATION:**

BUILDING FOOTPRINT: 176.60 SqM. (1,899.60 SqFT.)  
GARAGE FOOTPRINT: 1,773.291 SqM. (19,044 SqFT.)  
2ND - 5TH FLOOR: 3,114.80 SQM (3,352.12 SQF)

PROPOSED 5 STORIES WITH  
1 UNDERGROUND PARKING LEVEL

PROPOSED GFA: = 3,841.40 SqM. (41,806.80 SqFT.)

26 X 1 BDR  
30 X 2 BDR  
**TOTAL 56 UNITS**

MAX HEIGHT: 21.3m (70'-0") ALLOWED  
17.64m (57'-10 1/2") PROPOSED

MAX HEIGHT WAS CALCULATED FROM THE AVERAGE NATURAL GRADE OF THE PROPERTY:  
30.27m + 24.11m + 25.84m + 28.29m = 118.51m / 4 = 29.63m  
OUR PROPOSED SLAB HEIGHT IS 30.33m: 30.33 - 28.34m = 1.99m  
THE BLDG HEIGHT MEASURE FROM SLAB TO TOP OF FLAT ROOF = 15.70m  
BLDG HEIGHT MEASURED FROM AVERAGE NATURAL GRADE:  
15.70m + 1.94m = 17.64m

**PARKING CALCULATIONS:**

PARKING REQUIREMENTS:  
AS PER THE DDIP (DOWNTOWN DEVELOPMENT INCENTIVE PROGRAM)  
WE ARE SUPPLYING 1 STALL PER UNIT.  
56 UNITS = 56 STALLS

PARKING PROVIDED:  
SMALL CAR = 3  
REG. CAR = 53  
WCAP = 1  
TOTAL STALLS = 57

BICYCLE PARKING REQUIREMENTS  
SHORT TERM BIKE PARKING = 15% OF MIN. REQUIRED CAR PARKING  
56 X .15 = 8.4  
PROVIDED 12 SPACES

LONG TERM BIKE PARKING = 0.5 SPACE PER UNIT  
56 X 0.5 = 28 SPACES REQUIRED  
PROVIDED 28 SPACES

WASTE MANAGEMENT - TABLE 1			
TYPE	PRODUCED (L / UNIT / WEEK)	DEVELOPMENT TOTAL	DEVELOPMENT PROVISIONS
GARBAGE	50	56 X 50 = 2,800	1 X 3 YARD BIN 2 X XL GREEN TOTES
RECYCLABLES	50	56 X 50 = 2,800	1 X 3 YARD BIN 2 X XL GREEN TOTES
COMPOSTABLES	30	56 X 30 = 1,680	5 X XL GREEN TOTES
GLASS	5	56 X 5 = 280	1 X XL GREEN TOTES
3 cu. YARD BIN = 2,234 LITRES XL GREEN TOTE = 360 LITRES 5 GREEN TOTE = 80 LITRES			

REV	DATE	DESCRIPTION
05	05/19/23	RE-ISSUED FOR DP
05	09/12/22	RE-ISSUED FOR DP
04	06/06/22	ISSUED FOR HYDRO DESIGN INTAKE
03	03/01/22	ISSUED FOR DP
02	12/24/21	RE-ISSUED FOR REZONING
01	11/30/21	ISSUED FOR REZONING
CONSULTANT		

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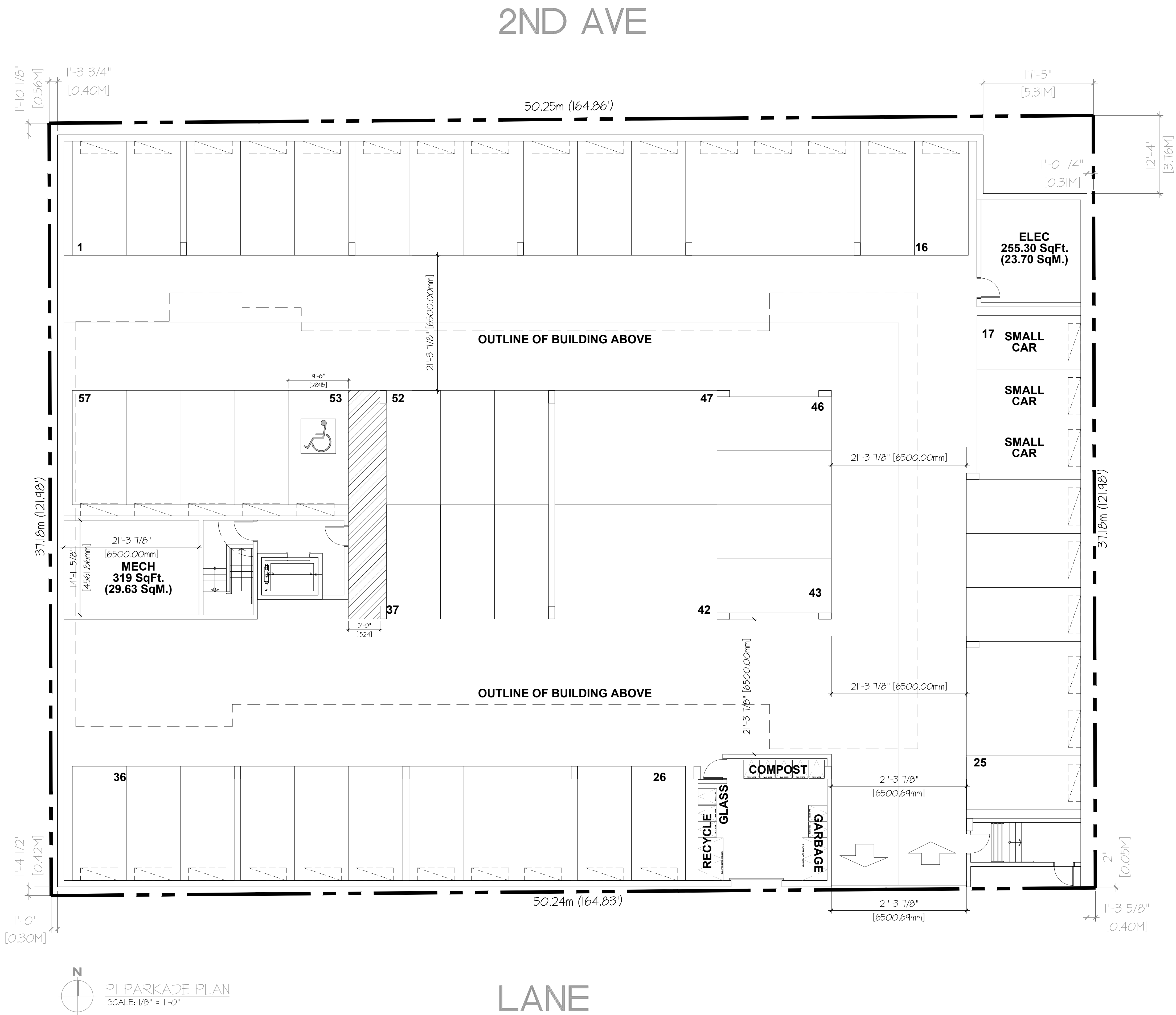
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MISSION, BRITISH COLUMBIA

SITE PLAN

PROJECT NUMBER	DRAWING NUMBER
21-038	A52
SCALE	
1/8" = 1'-0"	
DATE	REVISION
APRIL 2021	MAY 08, 2023





06	05/19/23	RE-ISSUED FOR DP
05	01/31/23	RE-ISSUED FOR DP
04	09/12/22	RE-ISSUED FOR DP
03	03/01/22	ISSUED FOR DP
02	12/24/21	RE-ISSUED FOR REZONING
01	11/30/21	ISSUED FOR REZONING
REV	DATE	DESCRIPTION

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DS	--

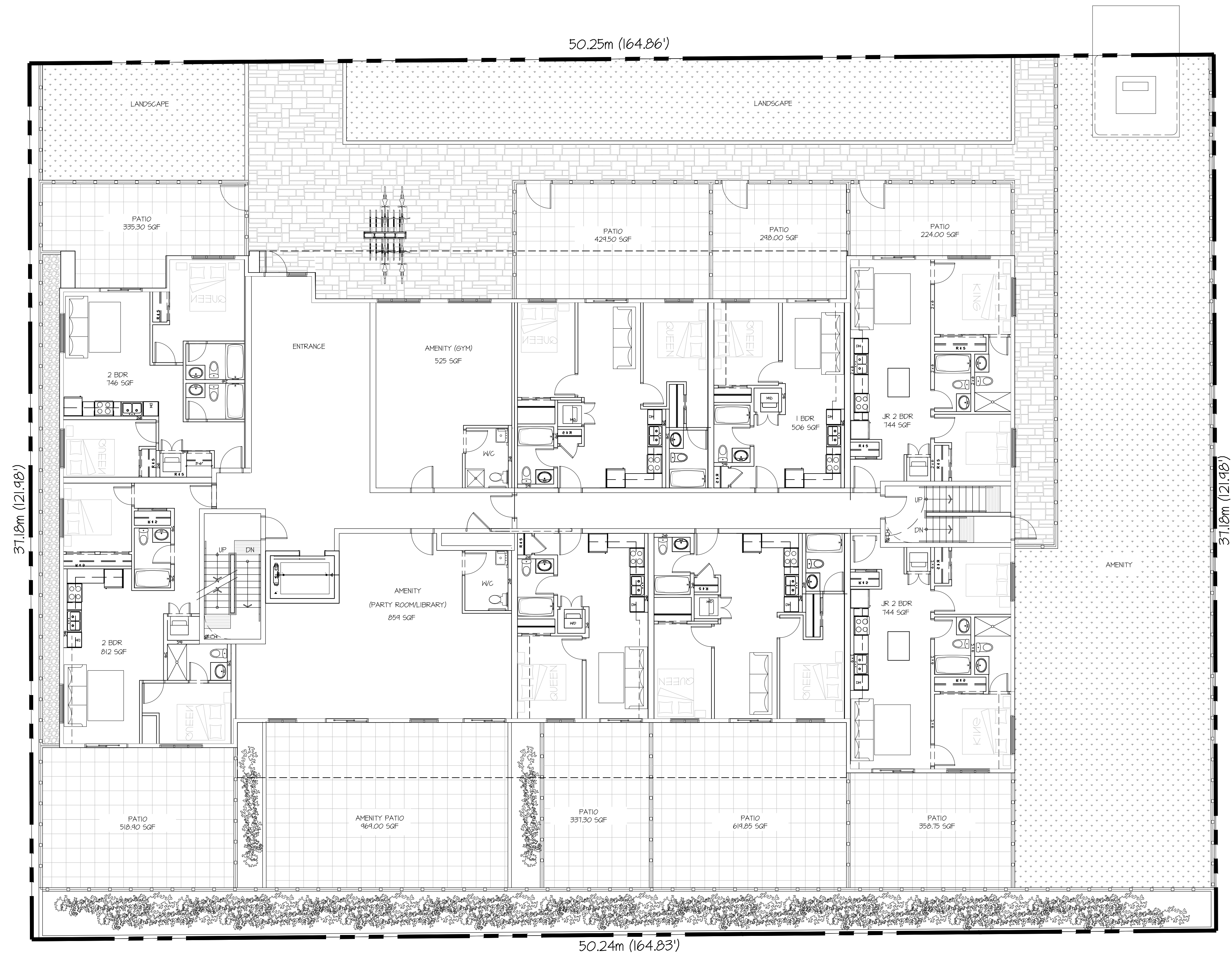
PROJECT  
**SUMMIT ON SECOND**

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MISSION, BRITISH COLUMBIA  
DRAWING

PI PARKING PLAN

PROJECT NUMBER	DRAWING NUMBER
21-038	A1.0
SCALE	
1/8" = 1'-0"	
DATE	REVISION
APRIL 2021	MAR 1TH, 2022

SUMMIT ON SECOND - 21-038



GROUND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

06	05/14/23	RE-ISSUED FOR DP
05	01/31/23	RE-ISSUED FOR DP
04	04/12/22	RE-ISSUED FOR DP
03	03/07/22	ISSUED FOR DP
02	12/24/21	RE-ISSUED FOR REZONING
01	11/30/21	ISSUED FOR REZONING
REV	DATE	DESCRIPTION

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PROJECT	

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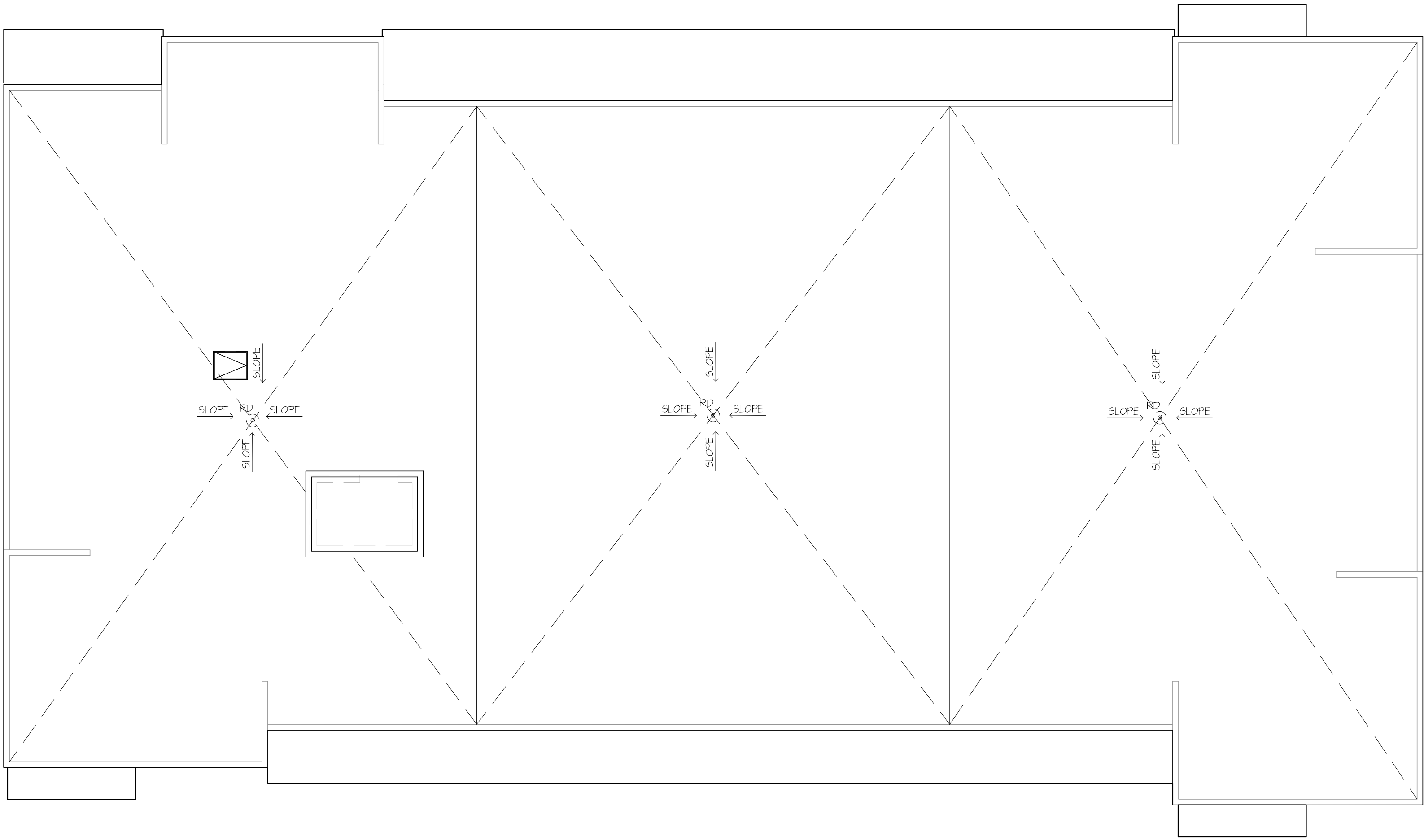
FLOOR PLAN  
GROUND LEVEL

PROJECT NUMBER	DRAWING NUMBER	DATE

SCALE  
18" = 1' 0"

DATE	REVISION
APRIL 2021	MAY 2023





 **ROOF PLAN**  
SCALE: 1/8" = 1'-0"

06	19/05/23	RE-ISSUED FOR DP
05	01/31/23	RE-ISSUED FOR DP
04	09/12/22	RE-ISSUED FOR DP
03	03/01/22	ISSUED FOR DP
02	12/24/21	RE-ISSUED FOR REZONING
01	11/30/21	ISSUED FOR REZONING
REV	DATE	DESCRIPTION

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PROJECT	

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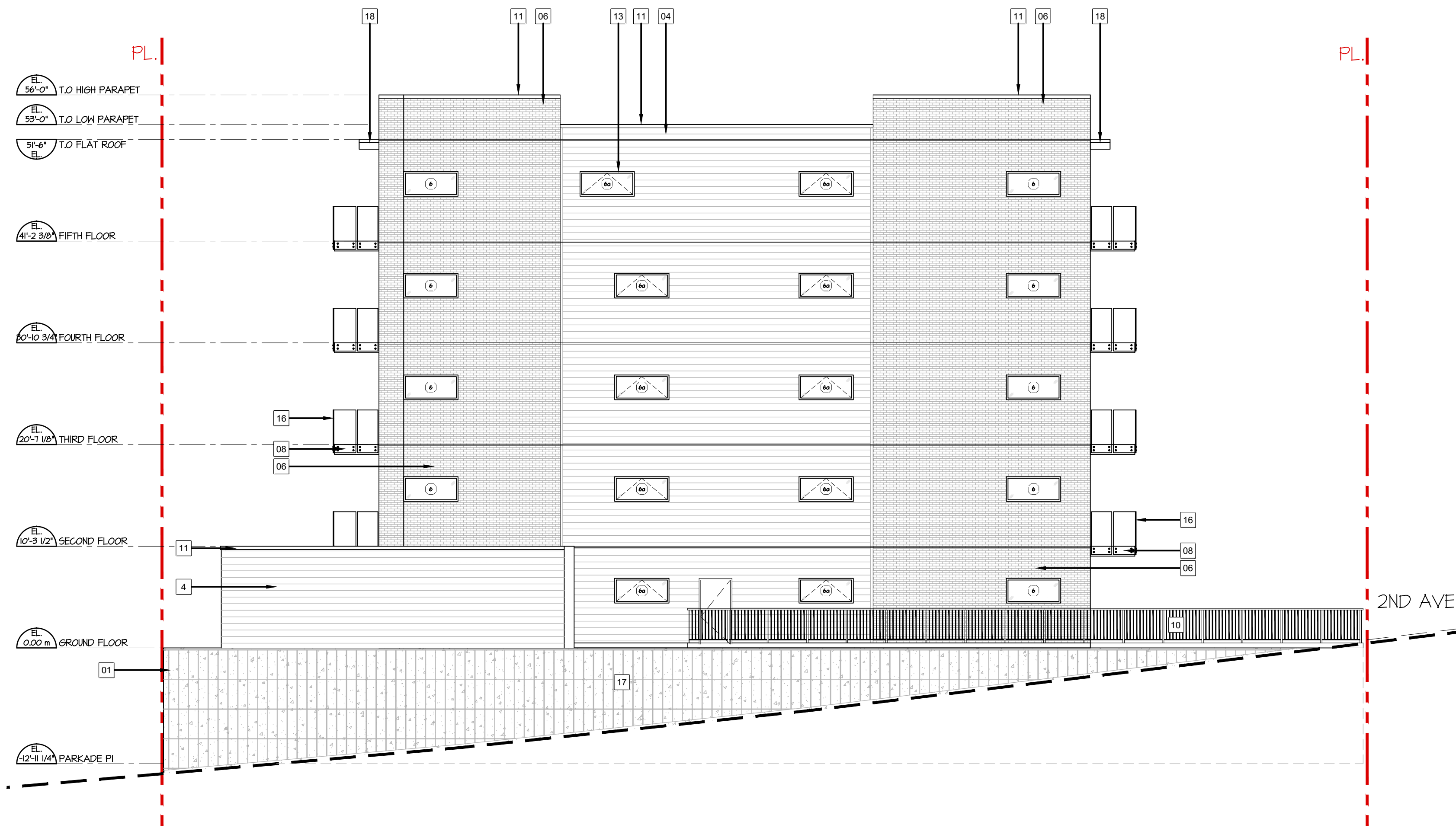
DRAWING

ROOF PLAN

PROJECT NUMBER	DRAWING NUMBER
21-038	A1.3
SCALE	
1/8" = 1'-0"	
DATE	REVISION
APRIL 2021	MAY 2023



1 ELEVATION: NORTH  
SCALE: 1/8" = 1'-0"



2 ELEVATION: EAST  
SCALE: 1/8" = 1'-0"

EXTERIOR FINISHES		
NO.	MATERIAL	COLOUR
1	CONCRETE	STAINED
2	CONCRETE CURB	FINISHED AS PER **
3	HARDIE PANEL - LAP SIDING - SMOOTH TEXTURE	WHITE
4	HARDIE PANEL - LAP SIDING - SMOOTH TEXTURE	MULTI-COLOUR
5	HARDIE PANEL - LAP SIDING - SMOOTH TEXTURE	BROWN
6	BRICK MASONRY	WHITE
7	LARGE RIBBON - ACM PANEL	TO MATCH IRON GRAY
8	BALCONY FASCIA	PAINTED TO MATCH IRON GRAY
9	VERTICAL RIBBON - ACM PANEL	TO MATCH IRON GRAY
10	PRE FINISHED METAL GUARDRAIL	POWDER COATED BLACK
11	PRE FINISHED FLASHING	24ga. FLASHING TO MATCH ADJACENT FINISH
12	PRE FINISHED CAP FLASHING	POWDER COATED CHARCOAL
13	DOUBLE GLAZED WINDOWS	BLACK WITH LOW E GLASS
14	PATIO / BALCONY DOORS - GLAZED SLIDING	BLACK WITH LOW E GLASS
15	METAL - OVERHEAD ENTRANCE GATE	PRE FINISHED WHITE
16	BALCONY GUARDRAIL	GLAZED PANELS
17	PRE PAINTED WOOD TRELLIS	PAINTED WHITE
18	BALCONY WEATHER COVER	TO MATCH IRON GRAY
19	METAL - OVERHEAD ROLL UP DOOR	PRE FINISHED WHITE

REV	DATE	DESCRIPTION
06	05/19/23	RE-ISSUED FOR DP
05	01/31/23	RE-ISSUED FOR DP
04	09/12/22	RE-ISSUED FOR DP
03	03/01/22	ISSUED FOR DP
02	12/24/21	RE-ISSUED FOR REZONING
01	11/30/21	ISSUED FOR REZONING

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DRAWING

ELEVATION

PROJECT NUMBER DRAWING NUMBER

21-038 A2.0

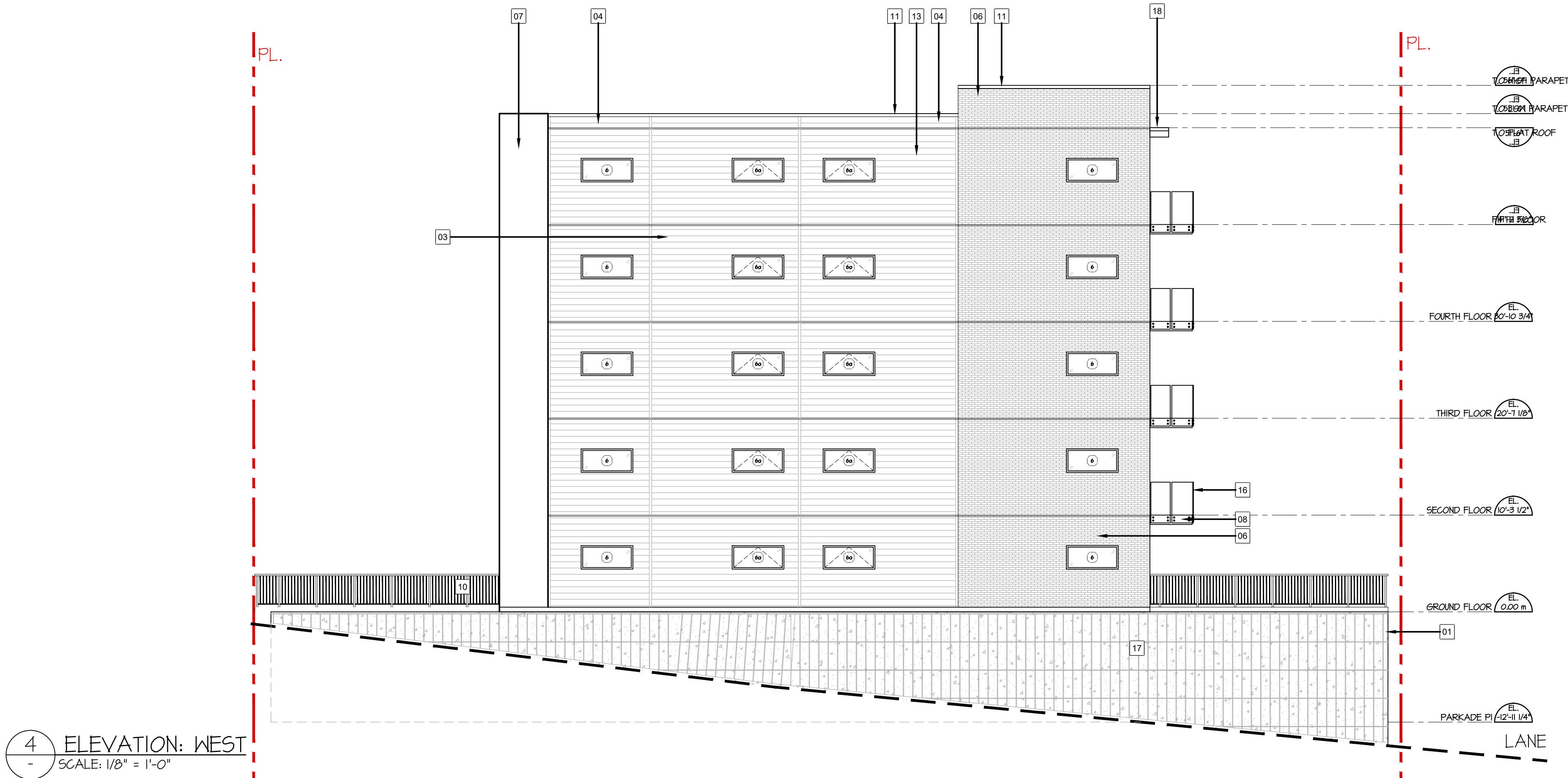
SCALE

AS NOTED

DATE REVISION

APRIL 2021 MAY 08, 2023





EXTERIOR FINISHES		
NO.	MATERIAL	COLOUR
1	CONCRETE	STAINED
2	CONCRETE CURB	FINISHED AS PER **
3	HARDIE PANEL - LAP SIDING - SMOOTH TEXTURE	WHITE
4	HARDIE PANEL - LAP SIDING - SMOOTH TEXTURE	MULTI-COLOUR
5	HARDIE PANEL - LAP SIDING - SMOOTH TEXTURE	BROWN
6	BRICK MASONRY	WHITE
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16	BALCONY GUARDRAIL	GLAZED PANELS
17	PRE PAINTED WOOD TRELLIS	PAINTED WHITE
18	BALCONY WEATHER COVER	TO MATCH IRON GRAY
19	METAL - OVERHEAD ROLL UP DOOR	PRE FINISHED WHITE

REV	DATE	DESCRIPTION
05	05/14/23	RE-ISSUED FOR DP
04	04/12/22	RE-ISSUED FOR DP
03	03/01/22	ISSUED FOR DP
02	12/24/21	RE-ISSUED FOR REZONING
01	11/30/21	ISSUED FOR REZONING

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DRAWING

ELEVATION

PROJECT NUMBER DRAWING NUMBER

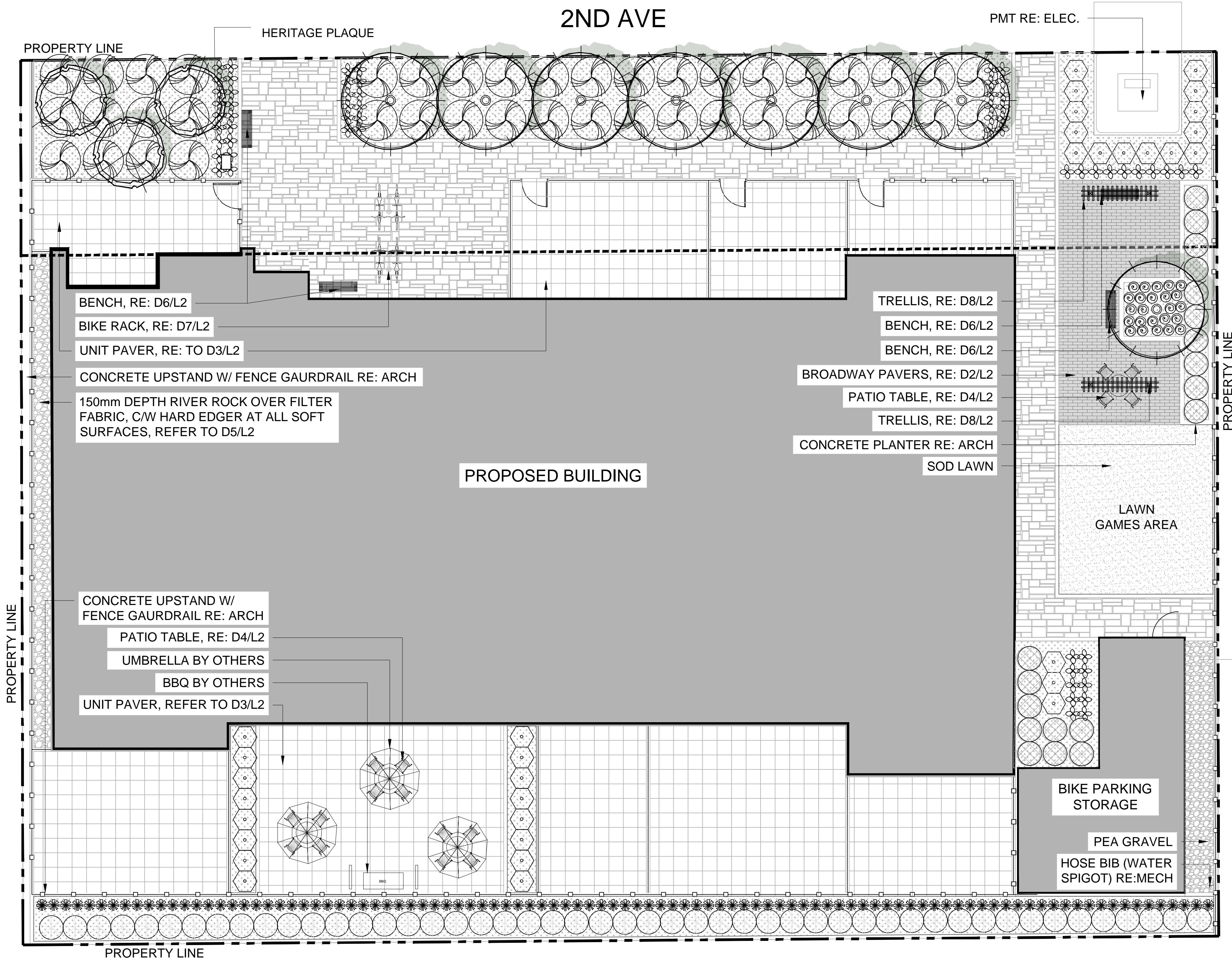
21-038 A2.1

SCALE AS NOTED

DATE REVISION

APRIL 2021 MAY 08, 2023





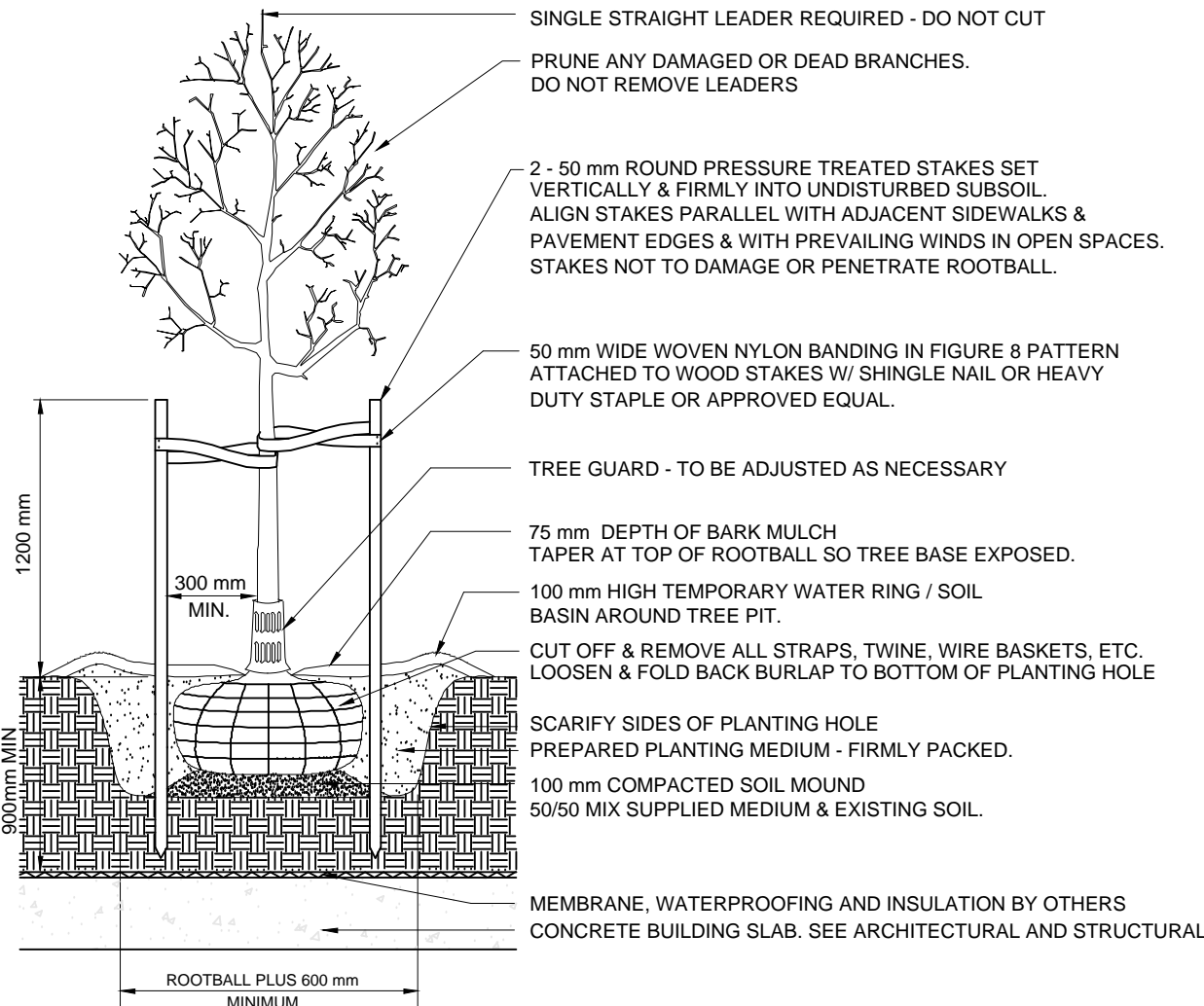
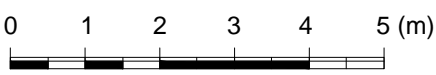
- PLANTING NOTES
1. PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING, NOTES AND DETAILS.
  2. PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
  3. ALL PLANT MATERIAL SHALL BE THOROUGHLY WATERED AND SOAKED AT THE TIME OF PLANTING.
  4. **TREE PROTECTION:** PER THE MUNICIPAL DETAIL IF REQUIRED.
  5. ALL LANDSCAPE MATERIAL IS TO COMPLY WITH THE CANADIAN LANDSCAPE STANDARD.
  6. SOIL DEPTH IN ALL PLANTING AREAS TO BE MINIMUM 450mm
  7. SOIL ANALYSIS FOR PROPOSED GROWING MEDIUMS IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  8. ALL PLANTING BEDS TO BE FINISHED WITH 75mm OF BARK MULCH. REFER TO PLANTING DETAILS FOR INSTALLATION AROUND PLANT MATERIAL.
  9. PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARD AND MUNICIPAL LANDSCAPE STANDARD FOR SIZE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST SHOWN ON THIS DRAWING. ANY PLANT DISPLAYING POOR GROWTH HABITS, INJURY OR DISEASE WILL BE REJECTED. ANY PLANT THAT IS REJECTED WILL BE REMOVED FROM THE SITE AND REPLACED WITH A PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.
  10. REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY ARBORISTS (I.S.A.) SPECIFICATIONS WITH APPROPRIATE TIMING FOR EACH SPECIES.
  11. PROVIDE A ONE YEAR WARRANTY FOR THE PLANT MATERIAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION DURING THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON, AND FOR REPLACEMENT OF PLANT MATERIALS THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTOR'S OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:
    - 11.1.Regular schedule of watering of the plants as required and/or as directed by the Project Manager during construction and the warranty period. Plants shall be watered within 48 hours of written request by the Owner or Owner's representative. Failure to do so after the request shall result in the work being undertaken by others. The cost of this work shall be deducted from the total Contract Price or holdback and otherwise recovered from the Contractor.
    - 11.2.Maintenance and additional installation of mulch
    - 11.3.Weed removal
    - 11.4.Disease control

- GENERAL NOTES
1. EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BIDDING.
  2. CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
  3. CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
  4. CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS, AND OTHER BY-LAW REQUIREMENTS. OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
  5. OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
  6. PROTECT FROM DAMAGE ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER EXISTING ELEMENTS THAT EITHER REMAIN ON SITE, ARE PART OF THE SITE ACCESS OR ARE ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT IS CAUSED BY THE CONTRACTOR'S WORK AT THE CONTRACTOR'S OWN EXPENSE.
  7. UNLESS OTHERWISE SPECIFIED, CONTRACTOR SHALL GUARANTEE ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL INSPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
  8. THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE. DURING THE PERIOD OF WORKS, PEDESTRIAN, PUBLIC AND ROAD AREAS ARE TO BE SWEEPED AT THE END OF EACH DAY AND KEPT FREE OF DEBRIS. LANDSCAPE DEBRIS IS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATIONS.

- IRRIGATION NOTES:
1. IRRIGATION TO BE PROVIDED FOR ALL 'SOFT LANDSCAPE AREAS' SHOWN ON THE DRAWING, USING A HIGH EFFICIENCY IRRIGATION SYSTEM.
  2. IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILD IRRIGATION SYSTEM FOR THE STUB OUTS PROVIDED. PROVIDE SUBMITTALS OF DESIGN TO CONSULTANT AT LEAST ONE WEEK PRIOR TO INSTALLATION AND AS-BUILT DRAWING WITHIN ONE MONTH OF SUBSTANTIAL PERFORMANCE.
  3. THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION INDUSTRY OF BC STANDARDS AND GUIDELINES.
  4. ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK COUPLERS.
  5. USE POP-UP SPRINKLER HEADS.
  6. DO NOT SPRAY WATER ONTO TREE TRUNKS.

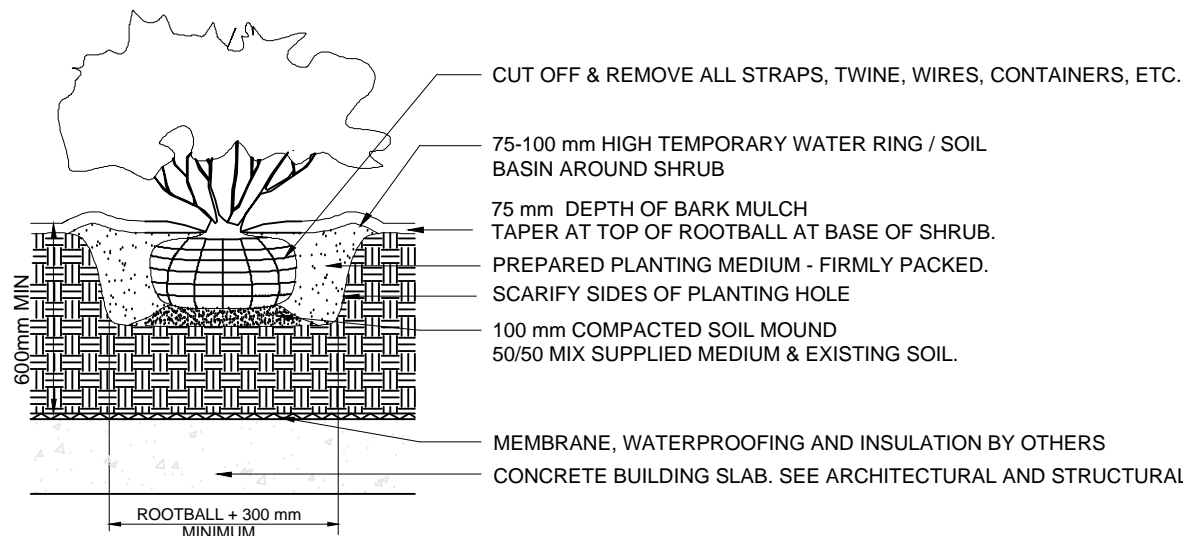
- SODDING NOTES:
1. SODDED AREAS AS SHOWN ON THE PLANTING PLAN ARE TO BE CERTIFIED CANADA NO. 1 CULTIVATED TURF SOD, WITH STRONG FIBROUS ROOT SYSTEM, THICK AND HEAVY GROWTH CONFORMING TO REQUIREMENTS OF THE CANADIAN LANDSCAPE STANDARD, AND OF THE FOLLOWING MIX OR APPROVED EQUAL:
    - 40% BLEND OF (3) VARIETIES OF KENTUCKY BLUEGRASS
    - 40% CREEPING RED FESCUE
    - 20% PERENNIAL RYEGRASSUSE LATEST APPROVED CULTIVARS OF GRASS IN PROVINCE
  2. LOOSEN SOIL SURFACE PRIOR TO SODDING. ELIMINATE BUMPS AND HOLLOWES. ROLL LIGHTLY WHEREVER TOPSOIL IS EXCESSIVELY LOOSE.
  3. PRIOR TO SODDING, OBTAIN APPROVAL THAT FINISHED GRADE AND DEPTH OF TOPSOIL ARE SATISFACTORY.
  4. DELIVER SOD TO SITE WITHIN 24 HOURS OF BEING LIFTED AND LAY WITHIN 36 HOURS OF BEING LIFTED. DURING DRY WEATHER PROTECT SOD FROM DRYING, AND WATER SOD AS NECESSARY TO ENSURE ITS VITALITY AND PREVENT THE LOSS OF SOIL IN HANDLING. DRY SOD WILL BE REJECTED.
  5. LAY SOD DURING GROWING SEASON. LAY SOD IN ROWS, PERPENDICULAR TO SLOPE, AND WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH SHARP IMPLEMENTS.
  6. WATER SOD IMMEDIATELY AFTER LAYING TO OBTAIN MOISTURE PENETRATION INTO TOP 150MM OF TOPSOIL. MAINTAIN SODDED AREAS FROM START OF INSTALLATION UNTIL FINAL ACCEPTANCE.

PLANT LIST - ENTIRE SITE						
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	7	Acer Griseum	Paperback Maple	7cm Cal.	As Shown	W.B.
	3	Magnolia Grandiflora 'Little Gem'	Little Gem Magnolia	6cm Cal.	As Shown	W.B.
SHRUBS						
	33	Taxus x media 'Hicksii'	Anglo-Japanese Yew	1m Ht.	1m O.C.	#5 Pot
	42	Rhododendron smimowii	Rhododendron	1m Ht.	As Shown	#2 Pot
	19	Hydrangea Arborescens	Hydrangea Arborescens	75cm Ht.	As Shown	#5 Pot
	49	Thuja Occidentalis 'Smaragd'	Emerald Green Cedar	1.5m Ht.	As Shown	B&B
PERENNIALS						
	62	Lilippe muscari	Monroe's White Lilyturf	1 Gal.	As Shown	#1 Pot
	100	Aquilegia Caerulea	Columbine	30cm Ht.	As Shown	#2 Pot



DECIDUOUS TREE - ON SLAB

NTS



SHRUB AND PERENNIAL - ON SLAB

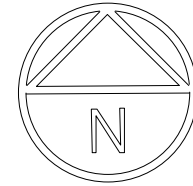
NTS



LEGEND

- PROPERTY LINE
- SETBACK LINE
- BENCH
- PATIO TABLE
- TRELLIS
- PLANTING MEDIUM
- SOD
- RIVER ROCK
- UNIT PAVERS
- BROADWAY PAVERS

6	20/07/23	RE-ISSUED FOR DP
5	13/10/22	RE-ISSUED FOR DP
4	05/10/22	RE-ISSUED FOR DP
3	23/06/22	ISSUED FOR COORDINATION
2	08/12/21	ISSUED FOR REVIEW
1	25/11/21	ISSUED FOR REVIEW
NO. DATE: (dm/y) DESCRIPTION:		
ISSUES & REVISIONS:		
SEAL:		



PROJECT NAME:

SUMMIT ON 2ND AVE

PROJECT ADDRESS:

32968, 32972, 32980 - 2ND AVENUE, MISSION, BC

DRAWING TITLE:

LANDSCAPE PLAN, DETAILS AND NOTES

SCALE: 1:100

DRAWN: DC

CHECKED: JT

PROJECT NO: 210589-L

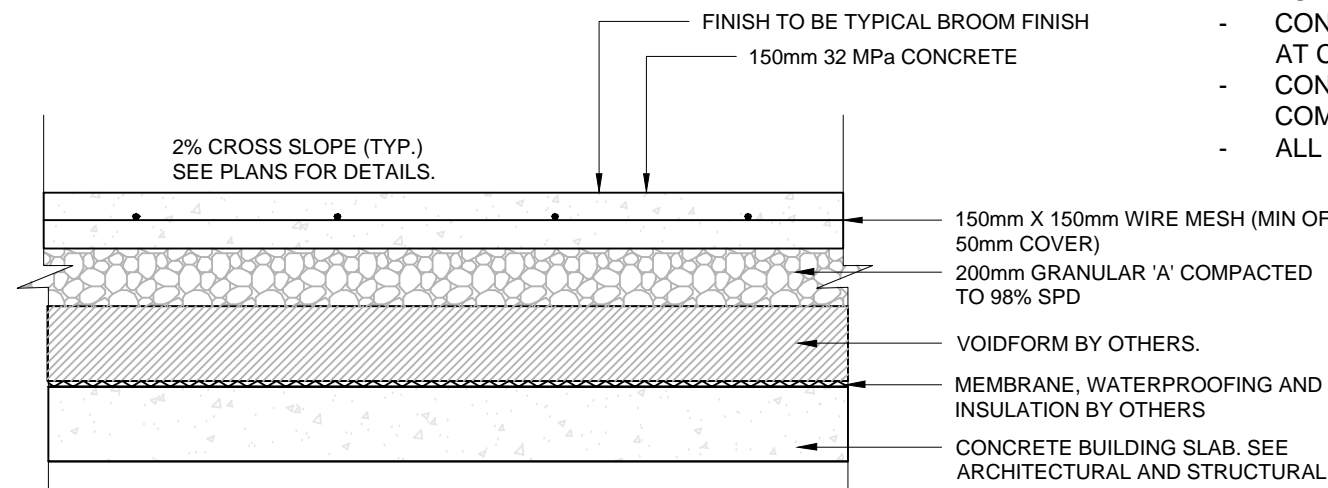
DRAWING NO:

L1

THIS DRAWING IS PROPERTY OF KRAHN GROUP OF COMPANIES AND SHOULD NOT BE COPIED OR DISTRIBUTED WITHOUT PRIOR WRITTEN CONSENT



COLOURED CONCRETE SPECIFICATIONS  
INTEGRAL COLOUR: CHARCOAL  
ANTIQUE RELEASE: CHARCOAL  
MANUFACTURER: BRICKFORM  
CONTACT: WWW.BRICKFORM.COM



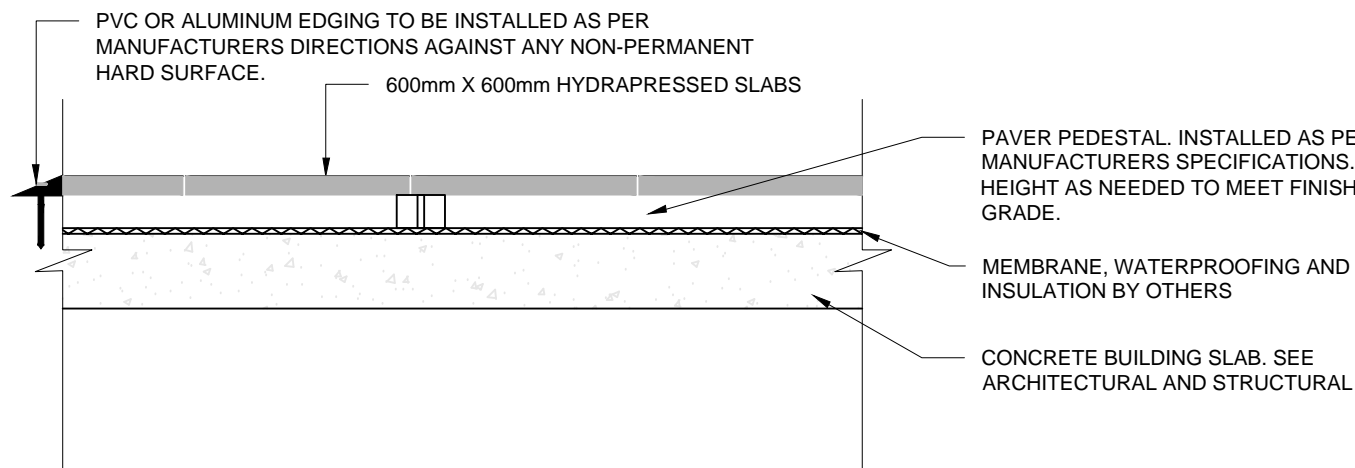
NOTES:

- CONCRETE TO BE 32MPa, CLASS C-2 AT 28 DAYS WITH 5-8% AIR ENTRAINED.
- CONCRETE TO HAVE BROOM FINISH PERPENDICULAR TO THE LENGTH OF THE SIDEWALK.
- EXPANSION JOINTS TO BE LOCATED AT EVERY 6.0m AND WHERE CONCRETE PAVING ABUTS OTHER STRUCTURES OR BUILDINGS.
- CONTROL JOINTS TO BE LOCATED AT INTERVALS OF 2.0m AND AT CENTRELINE OF 4.0m WIDTH WALKWAY.
- CONCRETE TO BE SPRAYED WITH WHITE PIGMENT CURING COMPOUND.
- ALL DIMENSIONS ARE IN MILLIMETRES.

STAMPED CONCRETE SPECIFICATIONS  
PATTERN: RUNNING BOND  
INTEGRAL COLOUR: LIGHT GREY  
ANTIQUE RELEASE: SMOKEY BEIGE  
MANUFACTURER: BRICKFORM  
CONTACT: WWW.BRICKFORM.COM

NOTES:

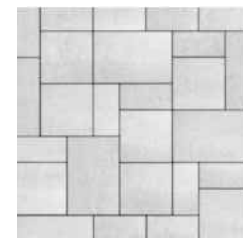
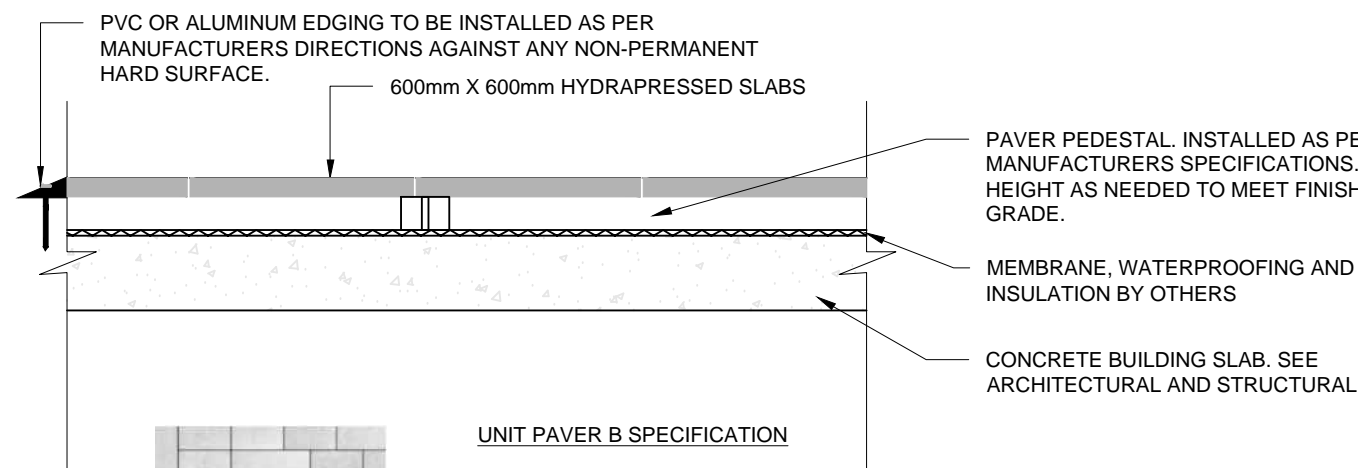
- INSTALL ALL COMPONENTS AS PER MANUFACTURERS SPECIFICATIONS



BROADWAY PLANKS PAVER SPECIFICATIONS  
PATTERN: PATTERN 11  
COLOUR: STERLING  
MANUFACTURER: BARKMAN CONCRETE  
CONTACT: WWW.BARKMANCONCRETE.COM

NOTES:

- INSTALL ALL COMPONENTS AS PER MANUFACTURERS SPECIFICATIONS



UNIT PAVER B SPECIFICATION  
MANUFACTURER: UNILOCK  
MODEL: UMBRIANO  
SIZE: MIXTURE OF LARGE RECTANGLE (350 x 546), SQUARE (360 x 360) & SMALL RECTANGLE (180 x 360)  
COLOUR: SUMMER WHEAT  
PATTERN: BELOW

D1 CHARCOAL COLOURED CONCRETE BAND  
OR APPROVED EQUAL

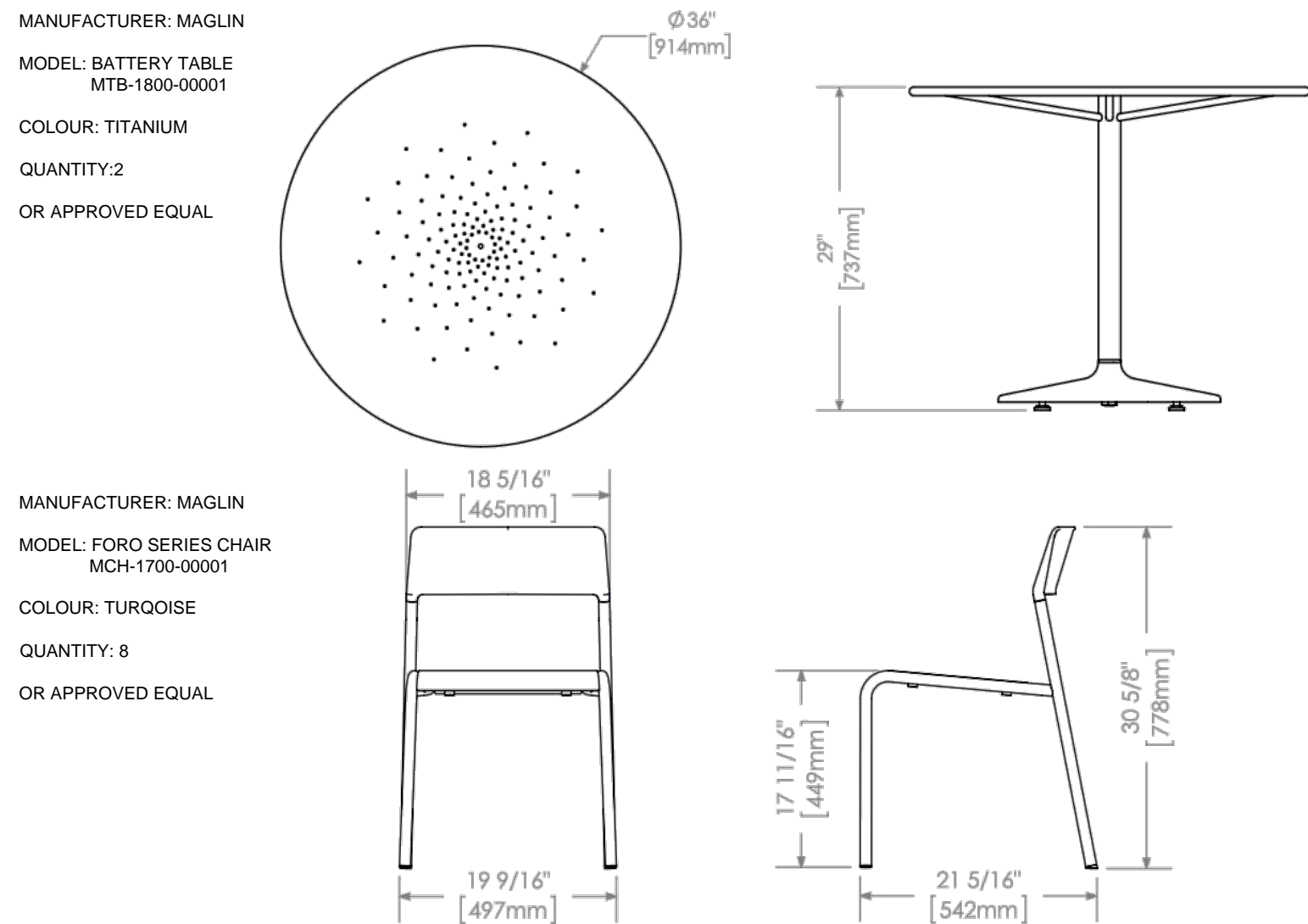
N.T.S.

D2 BROADWAY PAVERS  
OR APPROVED EQUAL

N.T.S.

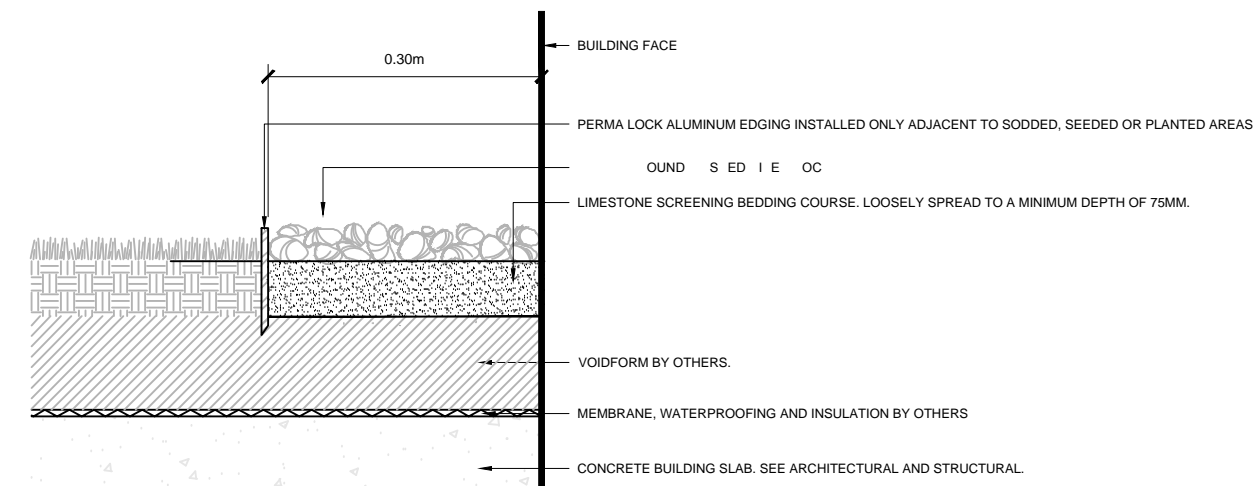
D3 UNIT PAVER  
OR APPROVED EQUAL

N.T.S.



MANUFACTURER: MAGLIN  
MODEL: BATTERY TABLE  
MTB-1800-00001  
COLOUR: TITANIUM  
QUANTITY: 2  
OR APPROVED EQUAL

MANUFACTURER: MAGLIN  
MODEL: FORO SERIES CHAIR  
MCH-1700-00001  
COLOUR: TURQUOISE  
QUANTITY: 8  
OR APPROVED EQUAL



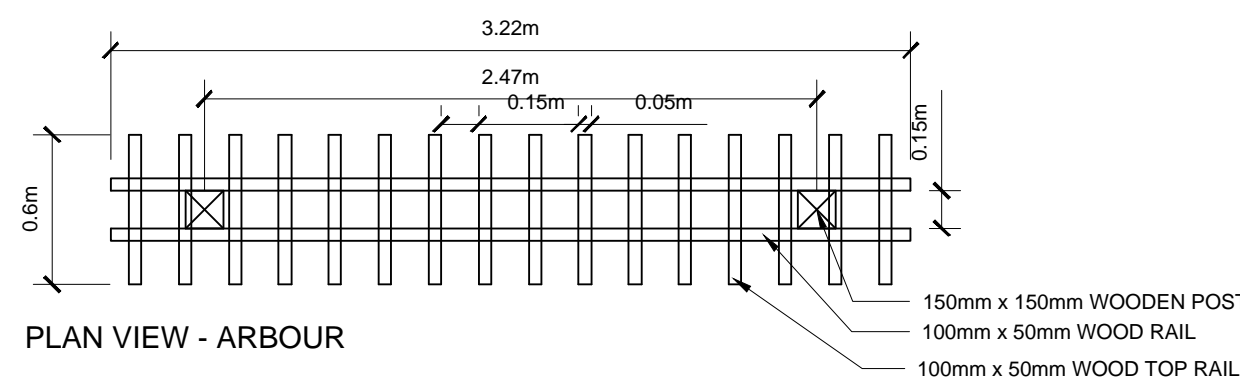
NOTES:  
1. RIVER ROCK SHALL BE FREE FROM CRACKS AND FISSURES AND SHALL BE FREE FROM SAND, CLAY AND OTHER DELETERIOUS MATERIAL.  
2. RIVER ROCK SHALL BE PLACED OVER THE SCREENING COURSE SUCH THAT AN OVERALL LEVEL APPEARANCE IS ACHIEVED WITHOUT VOIDS.  
3. RIVER ROCK TO BE LIGHTLY COMPACTED TO EMBED INTO BEDDING COURSES.

D4 PATIO TABLES  
OR APPROVED EQUAL

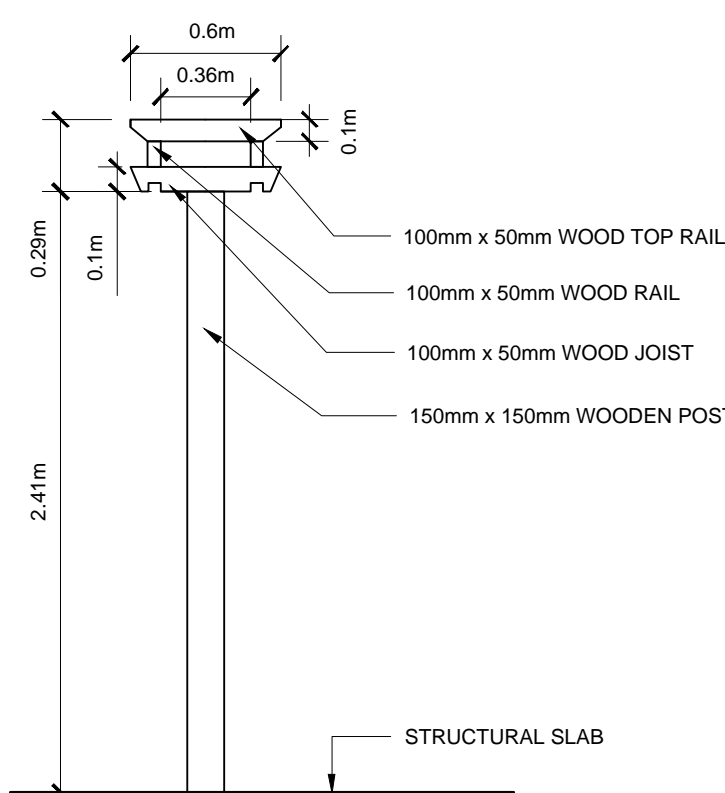
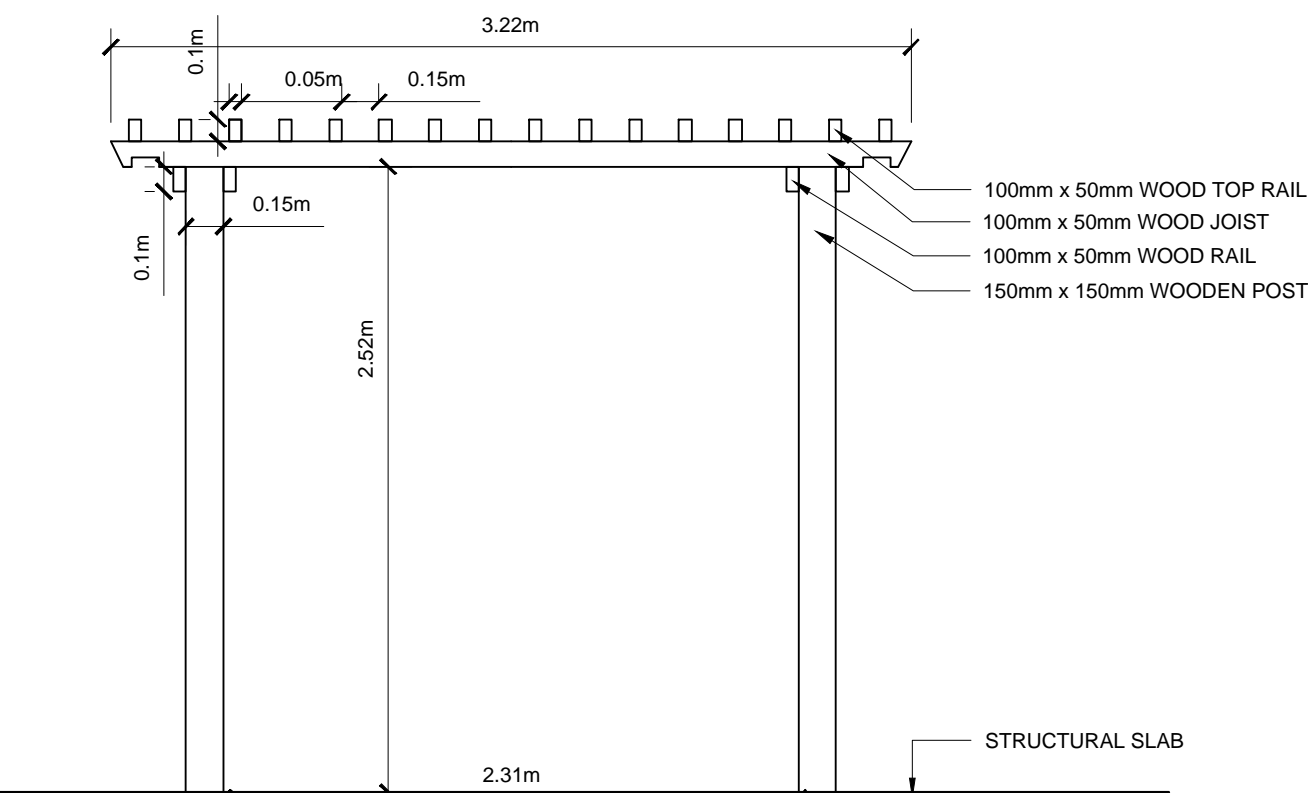
N.T.S.

D5 RIVER ROCK EDGER  
OR APPROVED EQUAL

N.T.S.



NOTES:  
- WOOD FINISH TO MATCH FENCE  
- WOOD POSTS TO BE ACP PRESSURE TREATED NO.1 GRADE ROUGH CUT PINE.



D8 TRELLIS  
OR APPROVED EQUAL

N.T.S.

D6 BENCH  
OR APPROVED EQUAL

N.T.S.

D7 BIKE RACK  
OR APPROVED EQUAL

N.T.S.

**KD Planning**  
A DESIGN LTD

ABBOTSFORD OFFICE  
400 - 34077 GLADYS AVE ABBOTSFORD, BC V2S 2E8  
T: 604.853.8831 F: 604.850.1580 www.krahn.com

VANCOUVER OFFICE  
110-2920 VIRTUAL WAY VANCOUVER, BC V5R 4Y3  
T: 604.294.6662 F: 604.294.6665 www.krahn.com

6	20/07/23	RE-ISSUED FOR DP
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3	23/06/22	ISSUED FOR COORDINATION
2	08/12/21	ISSUED FOR REVIEW
1	25/11/21	ISSUED FOR REVIEW
NO: DATE: (dm/y) DESCRIPTION:		
ISSUES & REVISIONS:		
SEAL:		

PROJECT NAME:  
**SUMMIT ON 2ND AVE**

PROJECT ADDRESS:  
**32968, 32972, 32980 - 2ND AVENUE, MISSION, BC**

DRAWING TITLE:  
**DETAILS**

SCALE:	AS NOTED
DRAWN:	DC
CHECKED:	JT
PROJECT NO:	210589-L

DRAWING NO:  
**L2**

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604.316.9405  
Unit 201 - 45269 Keith Wilson Rd  
Chilliwack, BC, V2R 5S1  
www.otgdevelopments.com

OTG File: 23-452

May 9, 2024

Attn: Mike Younie – Mission City Manager  
Phone: 604-820-3704  
Email: myounie@mission.ca

### Via Email

**RE: 32968, 32972 & 32980 2<sup>nd</sup> Ave – Mission – Follow Up Letter after Public Information Meeting**

Mr. Younie,

Please accept this letter as a supplement to the Staff Report associated with the proposed multi-family development project located at 32968, 32972 & 32980 2nd Ave in the City of Mission (Mission File P2021-142).

On December 4, 2023, Council deferred First and Second Reading and requested that the applicant hold a Public Information Meeting (PIM) to better engage with the community. This PIM was held at the Mission Library on January 23, 2024. The meeting was lightly attended.

From that meeting, discussions with Staff, upper management, and Councillors, the main concerns were as follows:

1. Parking
2. Form and Character as it pertains to the heritage of the area, and
3. the provision of a bus shelter.

The client has listened to these comments and has proposed the following changes:

1. *Parking* - the project meets the required parking in this area and for this use (after changes were made by the applicant to reduce the size of the proposed building). However, the client is now additionally proposing 7 additional parking spots along the front of the site - please see attached plan.

+++  
"A plan without action is a dream,  
an action without a plan is a nightmare."





2. *Form and Character* - the applicant is proposing the following: a Heritage Plaque, Photo Documentation, and Artwork or architectural features in the building's lobby, paying homage to the home formerly occupying the site
3. *Bus Shelter* - WCPG is willing to provide a bus shelter at a nearby bus stop to encourage use of public transit. They are also planning to incentivize the use of public transit by supplying 1 year transit passes to all purchasers.

We feel that the client has reacted to Council's request to hold a Public Meeting, and that at that meeting the applicant listened to the concerns from the Public and has made changes to their proposal.

This is a good project on a difficult site that would help supply 56 units to the Mission Housing stock in an appropriate location.

We appreciate your time and consideration. If you have any questions or concerns, please do not hesitate to contact the undersigned.

Best Regards,

A handwritten signature in blue ink, appearing to read 'W/Ch' followed by a stylized flourish.

Ryan J Anderson, Project Manager

OTG Developments Ltd.  
Phone: 604-217-7953  
Email: [ryan.anderson@otgdevelopments.com](mailto:ryan.anderson@otgdevelopments.com)  
[www.otgdevelopments.com](http://www.otgdevelopments.com)

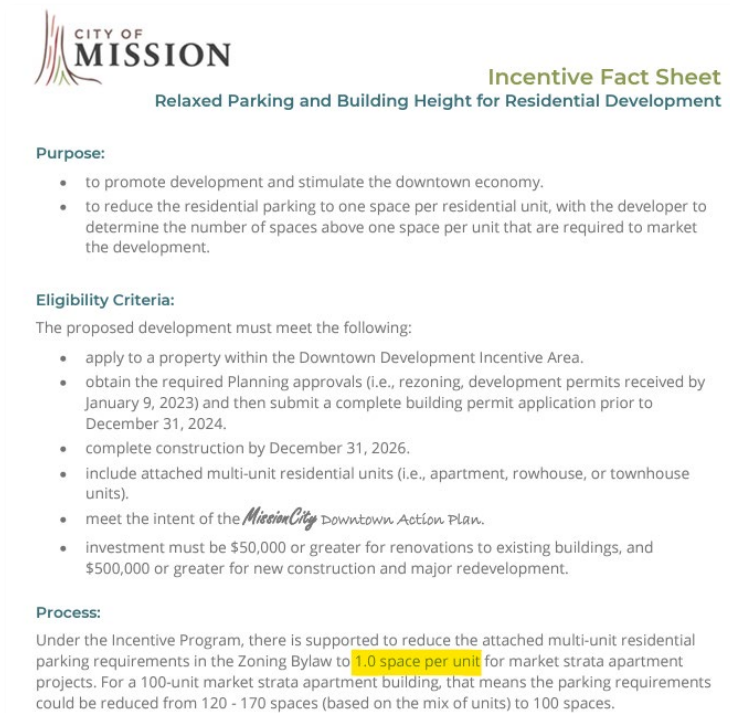
32968, 32972, & 32980 2<sup>nd</sup> Ave, Mission BC  
March 28, 2024

Re: Development Rationale

Following the council meeting on December 4, 2023, we have taken measures to address concerns from City Council and the community. On January 23<sup>rd</sup>, we hosted a public information open house at the Mission Public Library allowing members of the community an opportunity to voice concerns and ask questions about the proposed development. With Jay Hazzard in attendance, we had 7 groups attend, the majority of which were curious about the project and came seeking information. The few that did come with concerns were primarily focused on parking. This letter is intended to summarize our efforts to address these concerns brought forward by council and members of the public.

## Parking

Our original design, submitted in 2021, consisted of 83 affordable rental units with 58 underground parking stalls, a 0.7 parking ratio, as permissible under Section 109 E. I. of Mission's zoning bylaw, and approved for our previous project at 3<sup>rd</sup> & James. After determining that the applied definition of "affordable" would not be accepted, we began to look at solutions that would achieve the 1:1 parking ratio, permissible under the Downtown Development Incentive Program:



**CITY OF MISSION**

**Incentive Fact Sheet**  
Relaxed Parking and Building Height for Residential Development

**Purpose:**

- to promote development and stimulate the downtown economy.
- to reduce the residential parking to one space per residential unit, with the developer to determine the number of spaces above one space per unit that are required to market the development.

**Eligibility Criteria:**

The proposed development must meet the following:

- apply to a property within the Downtown Development Incentive Area.
- obtain the required Planning approvals (i.e., rezoning, development permits received by January 9, 2023) and then submit a complete building permit application prior to December 31, 2024.
- complete construction by December 31, 2026.
- include attached multi-unit residential units (i.e., apartment, rowhouse, or townhouse units).
- meet the intent of the *Mission City* Downtown Action Plan.
- investment must be \$50,000 or greater for renovations to existing buildings, and \$500,000 or greater for new construction and major redevelopment.

**Process:**

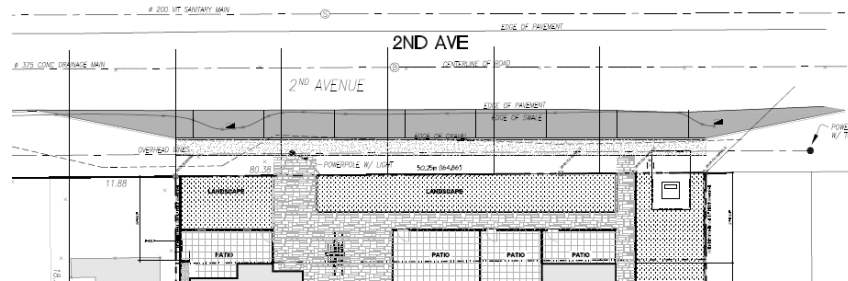
Under the Incentive Program, there is supported to reduce the attached multi-unit residential parking requirements in the Zoning Bylaw to **1.0 space per unit** for market strata apartment projects. For a 100-unit market strata apartment building, that means the parking requirements could be reduced from 120 - 170 spaces (based on the mix of units) to 100 spaces.

In order to maintain the number of units previously proposed, a 2<sup>nd</sup> parkade level would be required, which due to water table concerns, would not have been financially feasible.



After much deliberation and various meetings with city staff, we reduced the size of the building to 5 story's, 56 condominium units, served by 57 underground parking stalls, compliant with the Downtown Development Incentive Program above. The intent of the new design would be to design smaller, well-appointed units that would be more affordable to perspective "missing-middle" buyers.

We have also looked at the option of including ~7 parallel parking spaces along the front of the site and would be open to incorporating this into the plan if desired. This would increase the number of visitor parking stalls in excess of bylaw requirement.



Option for ~7 parallel parking spaces along 2<sup>nd</sup> Ave;

## Heritage Preservation

We understand 32980 2<sup>nd</sup> Ave is listed on Mission District Historical Society's Heritage Resource Inventory. Despite this designation not mandating any protection, we are willing to recognize the local historical importance of the home through one or more of the following measures:

- Heritage Plaque
- Photo Documentation
- Artwork or architectural features in the building's lobby, paying homage to the home formerly occupying the site

The 3 homes occupying the site are beyond their useful life, and any preservation/restoration would not be economically viable. We are open to discussing these plans further with the Mission District Historical Society.

## Form & Character

The front and rear facades incorporate flanking white brick towers with central horizontal Hardi Lap siding in 3 wood grain patterns, framed by a charcoal metal ribbon element. The intent of the aesthetic direction is to compliment local architecture and materials. The white masonry and wood grain textures are inspired by homes in the neighbourhood.

## Incentives

WCPG is willing to provide a bus shelter at a nearby bus stop to encourage use of public transit. We are also planning to incentivize the use of public transit by supplying 1 year transit passes to all purchasers.



While we are appreciative of Mission's continued support of our application, we are very eager to advance the file through the necessary steps and begin construction, and ultimately deliver much-needed housing supply to the market.



32968, 32972, & 32980 2<sup>nd</sup> Ave, Mission BC  
January 23, 2024

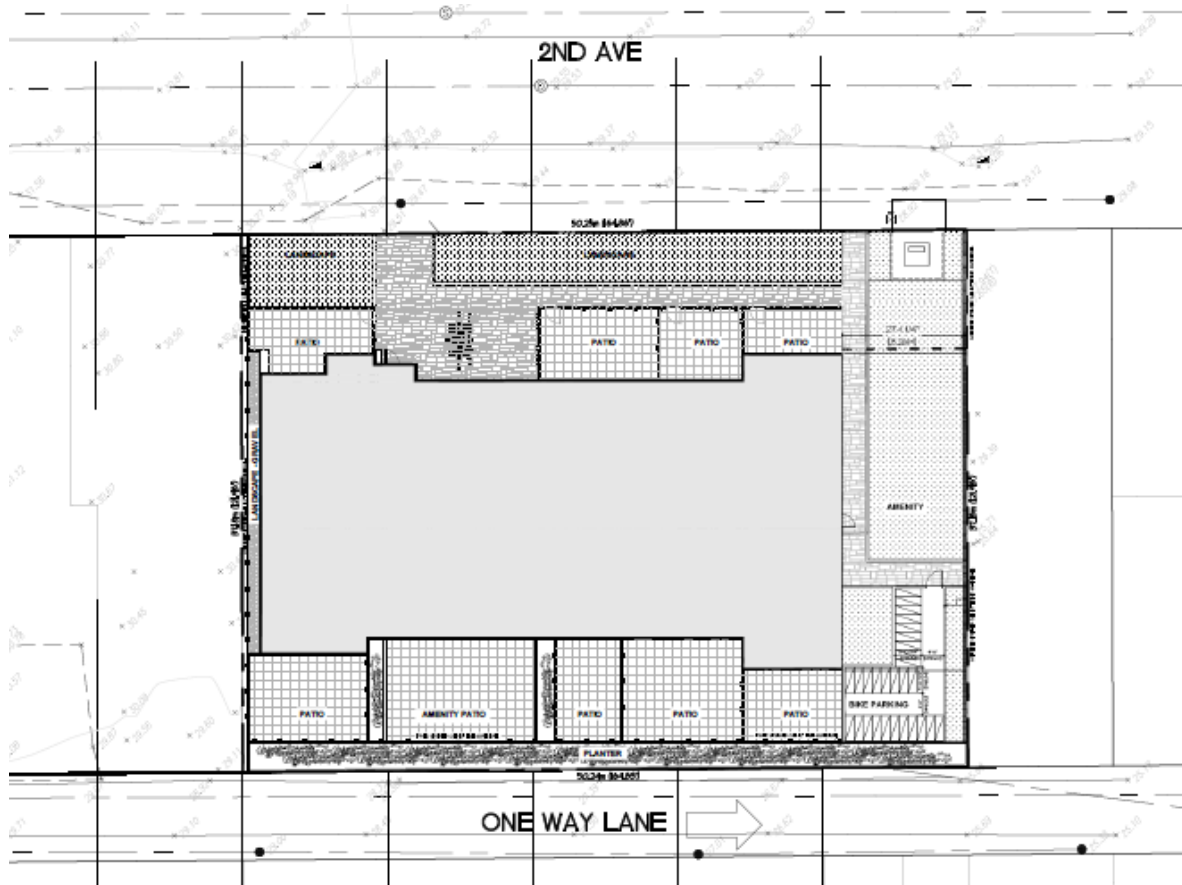
### Summit on Second Fact Sheet

Project Details	
<b>Address</b>	32968, 32972, 32980 2 <sup>nd</sup> Ave, Mission BC
<b>Site Area</b>	20,106 sq.ft
<b>Proposed OCP Designation</b>	DP Area I – Mission City Downtown
<b>Existing Zoning</b>	MD465 & DT3
<b>Proposed Zoning</b>	DT2
<b>Residential Units</b>	56 (26 1-Bedroom Units; 30 2-Bedroom Units)

	Proposed	Allowed/Required	OCP/Zoning Compliant
<b>Lot Coverage</b>	42%	100%	Yes
<b>Density</b>	2.08 FSR	4.5 FSR	Yes
<b>Height</b>	5 Story's; 17.6m	6 Story's; 21.3m	Yes
<b>Gross Floor Area</b>	41,900 sq.ft	90,477 sq.ft	Yes
<b>Parking Stalls</b>	57	56	Yes
<b>Bicycle Parking</b>	40	36	Yes
<b>Indoor Amenity Space</b>	1,407 sq.ft	1,688 sq.ft	No
<b>Outdoor Amenity Space</b>	3,470 sq.ft	0 sq.ft	Yes



#202, 930 West 1<sup>st</sup> Street  
North Vancouver, BC  
V7P 3N4  
Tel: (604) 980 – 8460  
[www.wcpconstruction.ca](http://www.wcpconstruction.ca)



#202, 930 West 1<sup>st</sup> Street  
North Vancouver, BC  
V7P 3N4  
Tel: (604) 980 – 8460  
[www.wcpconstruction.ca](http://www.wcpconstruction.ca)



**CITY OF MISSION  
DEVELOPMENT VARIANCE PERMIT DV22-019**

Issued pursuant to Section 498 of the *Local Government Act*

Issued to: WCPG Lots 16 Ltd., Inc. No. BC1306573  
202 – 930 West 1<sup>st</sup> Street, North Vancouver, BC V7P 3N4

as the registered owner (hereinafter referred to as the Permittee) and shall only apply to ALL AND SINGULAR that certain parcel or tract of land and premises situate, lying and being in the Municipality of Mission, in the Province of British Columbia, and more particularly known and described as:

Address: 32968 2<sup>nd</sup> Avenue  
Parcel Identifier: 011-605-731  
Legal Description: Lot 4 Block 27 Section 21 Township 17 New Westminster District Plan 332

Address: 32972 2<sup>nd</sup> Avenue  
Parcel Identifier: 000-951-749  
Legal Description: Lot A (X131534) Section 21 Township 17 New Westminster District Plan 332

Address: 32980 2<sup>nd</sup> Avenue  
Parcel Identifier: 000-643-980  
Legal Description: Lot 7 Block 27 Section 21 Township 17 New Westminster District Plan 332

Address: 32980 2<sup>nd</sup> Avenue  
Parcel Identifier: 000-643-998  
Legal Description: Lot 8 Block 27 Section 21 Township 17 New Westminster District Plan 332

1. The said lands are zoned Mission City Downtown Two (DT2) Zone pursuant to “City of Mission Zoning Bylaw 5949-2020” as amended.
2. “District of Mission Development and Subdivision Control Bylaw 5650-2017” as amended is hereby varied in respect of the said lands as follows:
  - (a) Amend Schedule L – Waste Management Design Guidelines to:
    - (i) Reduce the minimum unobstructed turning radius on access routes from 12.0 m to 5.8 m.
    - (ii) Reduce the minimum vehicle clearance throughout vehicle access routes from 4.5 m to 3.5 m.
    - (iii) Reduce the minimum width of the collection/loading area from 6.0 m to 4.5 m.
    - (iv) Permit collecting service and the collection/loading area to extend into the City-owned lane.
    - (v) Permit overhead containers to be collected from the side of the waste collection vehicle.
    - (vi) Permit slopes in the collection/loading area, on access roads, and where movement of overhead bins on casters is required.
3. This Permit does not constitute a subdivision approval or a building permit.
4. This Permit applies only to the development or construction proposed within the associated Staff Report and does not apply to future construction or reconstruction.

AUTHORIZING RESOLUTION NO. [Click here to type resolution number] passed by the Council on the [Click here to type day of the month] day of [Click here to type month] , [Click here to type year] .

IN WITNESS WHEREOF this Development Variance Permit is hereby issued by the Municipality signed by the Mayor and the Corporate Officer the [Click here to type day of the month] day of [Click here to type month] , [Click here to type year] .

---

Paul Horn,  
MAYOR

---

Jennifer Russell,  
CORPORATE OFFICER

Development Variance Permit DV22-019

**ENGINEERING AND PUBLIC WORKS DEPARTMENT  
REZONING & DEVELOPMENT COMMENTS**

---

**DATE:** January 6, 2023

**CIVIC ADDRESS:** 32968, 32972, PID:000-643-980, PID:000-643-998

**CURRENT ZONE:** MD465

**PROPOSED ZONE:** MA1

**Disclaimer**

The following comments are listed as deficiencies for the sole purpose of identifying required works and services to enable the subject property to Rezone to a Multi-Unit Apartment Zone and Develop a Residential Development. The following works and services for this rezoning proposal must be completed in accordance with the standards contained within the City of Mission's (COM) Development and Subdivision Control Bylaw (DSCB) 5650-2017 as amended, Water Bylaw 2196-1990 as amended (Water Bylaw), Sewer Bylaw 5033-2009 as amended (Sewer Bylaw), Solid Waste Management Bylaw 5526-2015 as amended (SWMB), the Soil Removal Bylaw 3088-1997 as amended (Soil Removal Bylaw), the Fire Sprinkler Bylaw 5679-2017 (Sprinkler Bylaw), and the Official Community Plan Bylaw 5670-2017 as amended (OCP). Additional requirements as specified by other stakeholder authorities are considered to be above and beyond the scope of these comments.

The Engineering & Public Works (E&PW) Department has received an application package complete with architectural drawings and a proposed, conceptual servicing plan (CSP).

**DOMESTIC WATER REQUIREMENTS:**

Municipal water is available on 2<sup>nd</sup> Avenue.

Connection to the municipal system is required. The COM does not guarantee fire-flow requirements. The Developer shall prove out the limitations of the existing system by whatever means deemed appropriate, and shall ensure the development is adequately serviced at the developer's sole expense.

City records indicate that the existing main on 2<sup>nd</sup> Avenue is a 150mmØ ductile iron pipe and is not bylaw compliant for reuse per DSCB, Section 3.9.1 – Water Main Pipe Sizes.

The CSP indicates a proposed service from 2<sup>nd</sup> Avenue.

At the time of writing these comments, the consulting engineer has engaged the City to perform water demand modeling with the following results; the existing 150mm main on 2<sup>nd</sup> Avenue will not provide necessary fireflow requirements.

As a condition of Development the following will apply:

In accordance with the Water Bylaw, the developer is required to design a bulk meter system in a chamber with a single-point, service connection to property line, consistent with the DSCB and Water Bylaw. Installation of the onsite system shall occur at the building permit stage and be contained within the building.

In accordance with the Water Bylaw, the existing water services (multiple) to the parent lots must be capped at the main by City forces at the Developer's sole expense.

The existing 150mm pipe must be decommissioned and replaced with a new, 250mm DI pipe from Birch Street to Grand Street complete with appurtenances. Existing service connections to be reconnected to the new pipe. The CSP has substantially included this information.

Engineered design is required. See DSCB, Section 3.

**ENGINEERING AND PUBLIC WORKS DEPARTMENT  
REZONING & DEVELOPMENT COMMENTS**

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**STORM SEWER REQUIREMENTS:**

Municipal storm service is readily available on 2<sup>nd</sup> Avenue. An aging wood stave system exists in the Lane south of 2<sup>nd</sup> Avenue (Lane).

Connection to the municipal system is required. The COM does not guarantee depth at property line. The Developer must prove out the limitations of the existing system by whatever means deemed appropriate, and shall ensure the development is adequately serviced at the developer's sole expense.

City records indicate that the existing main on 2<sup>nd</sup> Avenue is a 375mm diameter CONC pipe and is considered acceptable for tie-in.

City records indicate that the existing main on the Lane (and coming from the subject properties) is an aging, wood stave system (not bylaw compliant) that ties in to a newer system on Grand Street.

The CSP indicates a proposed service from 2<sup>nd</sup> Avenue.

At the time of writing these comments, the consulting engineer has requested and received a current video inspection report of the main in the Lane with the following results; multiple points of failure and pipe degradation were observed.

As a condition of Development the following will apply:

The Developer is required to design an onsite, storm water system utilizing Best Management Practices (BMPs) that will reduce the site's 10-year post-development runoff rate to its 10-year pre-development runoff rate. Installation of the system will occur at the building permit stage.

Designs shall be accompanied by a report from a fully qualified professional engineer which clearly identifies the specific opportunities and constraints for implementing best management practices for the subdivision, demonstrates that groundwater recharge and/or other appropriate best management practices are sustainable and have been maximized for the particular site, and provides examples of similar installations which demonstrate the sustainability, ability to construct, and ease of maintenance of the works to be constructed.

In particular, when implementing the City ground water recharge guidelines, the applicant will be responsible to conduct a hydrological investigation to estimate infiltration rates and soil permeability, and determine the location of the water table and its seasonal variations. This information is to be included in any engineering drawing submittals as it is critical to the design of BMPs, building envelopes, and minimum building elevations.

The existing main in the Lane must be removed and replaced with a new, adequately sized main from the west property line to Grand Street. Existing service connections to be reconnected to the new pipe. The CSP has substantially included this information.

Existing storm services to the parent lots must be removed by the Developer at the Developer's sole expense.

Proposed measures will be subject to acceptance by the Director of Engineering and Public Works.

Engineered design is required. See DSCB, Sections 4 and 5.

**SANITARY SEWER REQUIREMENTS:**

Municipal sanitary service exists on 2<sup>nd</sup> Avenue and the Lane.

**ENGINEERING AND PUBLIC WORKS DEPARTMENT  
REZONING & DEVELOPMENT COMMENTS**

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Connection to the municipal system is required. The COM does not guarantee depth at property line. The developer must prove out the limitations of the existing system by whatever means deemed appropriate, and shall ensure the development is adequately serviced at the developer's sole expense.

City records indicate that the adjacent, existing mains on 2<sup>nd</sup> Avenue and the Lane are 200mmØ vitrified clay pipes (not bylaw compliant).

The CSP proposes a service from the Lane.

At the time of writing these comments, the consulting engineer has requested and received a current video inspection report of the main in the Lane with the following results; multiple points of failure and pipe degradation were observed.

As a condition of Development the following will apply:

The existing main must be removed and replaced with a new, adequately sized main from the west property line to Grand Street. Existing service connections to be reconnected to the new pipe. The CSP does not indicate that the existing main will be upgraded. This aspect of the proposed plan is currently unacceptable.

Existing sanitary services to the parent lots must be removed by the developer at the developer's sole expense.

Proposed measures will be subject to acceptance by the Director of Engineering and Public Works.

Engineered design is required. See the DSCB, Section 6.

**ROAD WORK REQUIREMENTS:**

2<sup>nd</sup> Avenue and the Lane provide paved access to the site.

In accordance with the DSCB, Schedule B-1, offsite road improvements are a requirement of rezoning/development.

As a condition of Development the following will apply:

**2<sup>nd</sup> Avenue**

The Developer must design and construct road improvements to an alternate, urban, local road standard, complete with piped road drainage, underground hydro and telephone, street lighting, and boulevard landscaping and tree planting. At the time of writing these comments, the CSP indicates that the consulting engineer has considered Schedule B-1 for 2<sup>nd</sup> Avenue and has prepared an improvement plan for CoM review and consideration. The level of detail provided is sufficient for application intake purposes.

**The Lane**

The Developer must design and construct road improvements in accordance with city std dwg SS-R08 – Existing Urban Residential Access Lane, complete with piped road drainage and possibly street lighting. At the time of writing these comments, the CSP indicates that the consulting engineer has not considered Schedule B-1 for the Lane. This aspect of the proposed plan is currently unacceptable. The level of detail provided indicates that the developer is prepared to accept a considerable amount of risk at the detailed design stage. The minimum extent of upgrade will be from Birch Street to Grand Street.

## ENGINEERING AND PUBLIC WORKS DEPARTMENT REZONING & DEVELOPMENT COMMENTS

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### Traffic Access and Impact Studies

The proposed size, scope and proximity of the development application to the downtown core will automatically trigger Section 8.19 of the DSCB. A site access study and traffic impact assessment (TIA) will be a requirement of rezoning/development.

The development application is anticipated to trigger a TIA being required by the Ministry of Transportation and Infrastructure (MOTI) as a condition of Rezoning and/or Development.

### Road Dedication

The E&PW Department understands that the current Development Permit drawing package has been developed without having the benefit of knowing what the final offsite parameters will be as specified by the acceptance of both CoM and MOTI.

At the time of writing these comments the following is hereby noted by City staff:

- The DSCB Introduction, Section 9.7 – Highway Dedication, states the following: *“The maximum required highway dedications for various classifications of highways in a Subdivision/Development shall be as specified in Schedule A hereto. The Municipality shall advise the Owner of the classification of each highway in a proposed Subdivision/Development and the required highway dedication.”*

As such, the developer may be required to dedicate additional Highway Dedication adjacent to the proposed development to provide a total lane dedication width sufficient to construct an appropriate road, complete with road drainage, sanitary service, underground hydro, gas, telephone, and street lighting. Survey and design will be required to determine whether or not there is a need for additional highway dedication. Should it be determined that additional dedication is required, granting of such dedication will be a condition of Rezoning and Development.

Engineered design is required. See DSCB, Sections 8, 9, 10, and 11.

### **STREET LIGHTING:**

In accordance with the DSCB, Schedule B-1, Ornamental street lighting is a requirement of Development. The design and installation of municipal street lighting adjacent to the site complete with upgrades to the existing system as necessary will be required as a condition of Development.

Street Lighting design will compliment the roadway design and be in general conformance with the DSCB.

Engineered design is required. See the DSCB, Section 9 – Street Lighting, as amended.

### **BOULEVARD LANDSCAPING AND TREE PLANTING:**

In accordance with the DSCB, Schedule B-1, the design and installation of boulevard trees adjacent to the site is a requirement of Development. The offsite landscaping design will compliment the roadway design and be in general conformance with the DSCB. All proposed plant material and tree species require approval from the COM Manager of Parks & Facilities prior to selection at the nursery.

Engineered design is required. See the DSCB, Section 11 – Boulevard Tree Planting, and 12 – Specifications and Standards for Landscaping, as amended.

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**ENGINEERING STANDARDS AND CONSTRUCTION DRAWING SPECIFICATIONS:**

Engineered design must be prepared and submitted in general conformance with the DSCB.

See the DSCB, Section 2 – Engineering Standards, 13 – Construction Drawing Submissions, and Form F-5 – Commitment by Owner and Consulting Engineer, as amended. Presentation quality and expectations are set out in the City's CAD Drafting Template which is available for download from the Engineering and Public Works Department webpage on the City's website. Please contact Jason Anthony, Engineering Technologist at 604-820-5366 or [janthony@mission.ca](mailto:janthony@mission.ca) for more information and/or assistance in downloading the files.

**POWER, GAS & TELECOMMUNICATIONS:**

Underground electrical, natural gas distribution, and telephone systems in accordance with the DSCB, Schedule B-1 is applicable and will be a condition of Development.

See the DSCB INTRODUCTION, Item 9.5 - Power and Telecommunications Distribution.

**LOT GRADING:**

Lot grading in accordance with the DSCB, Schedule E – Standards for Designing and Preparing Lot Grading is applicable and will be a condition of Development.

**LATECOMER CHARGES:**

Pursuant to the Local Government Act Section 507(2) the local government will not require that the owner of the land that is to be developed provide excess or extended services and as such, Latecomer Charges will not apply.

**ENVIRONMENTAL REQUIREMENTS:**

The site is located within the City's Natural Environment Development Permit Area, please follow the Official Community Plan guidelines (see Section 9.7). For rezoning and subdivision applications this will include an Environmental Assessment prepared by a Qualified Environmental Professional. IMPORTANT: No trees, other vegetation, waterbodies or soil is to be removed or disturbed before the City has issued the Natural Environment Development Permit.

As a reminder, no trees are to be removed during bird nesting season (March 1 to August 31), unless the appropriate assessment, reports, and mitigation actions are undertaken by a QEP to ensure compliance with the federal Migratory Birds Convention Act and the provincial Wildlife Act, as required meet the legislation and ensure best management practices are followed.

As a side note, the dwelling at 32980 Second Avenue is cited on a list of heritage resources as having been constructed in 1914 and occupied by Mrs. Agnes Fabry, widow of the manager of the Bellevue Hotel.

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Given the age of all of the existing dwellings which will need to be demolished to facilitate this development, there is a high likelihood that lead based paints and asbestos containing materials are present. Please ensure a Hazardous Materials Survey is conducted, abatement is undertaken as required, and hazardous wastes are disposed of according to all applicable legislation.

As per the Solid Waste Management Bylaw 5526-2015, by default, the City's contractor provides On-site Collection to multi-family complexes in 360-litre wheeled carts for recyclables, 240-litre wheeled carts for compostables and 80-litre wheeled carts for container glass only. The strata makes its own arrangements for the collection of garbage. The storage requirements for garbage will depend on the collection frequency negotiated with a private contractor.

On-site Collection facilities must be in fully enclosed buildings, structures or compounds that are adequate to prevent wildlife access but designed and located to provide easy access and egress for collection vehicles. Please refer to Schedule L of the Development and Subdivision Control Bylaw 5650-2017 for details on enclosure size, locations and access requirements. The applicant is required to indicate the dimensions of the waste enclosure, these were not included in the architectural plans.

The architectural plans indicate incorrect waste volumes and bins styles that do not adhere to Schedule L. Not all of the bins that are indicated are options provided by the City of Mission for multi-family collection.

Schedule L – Waste Management Design Guidelines estimated waste volumes for an apartment building with 83 units and the size/quantity of carts are indicated below.

Apartments			
Waste Stream	Estimated Litres	Litres per Unit	# of carts required
Recycling	4,150.0	50	12
Organics	2,490.0	30	10
Glass	830.0	10	10
Landfill	4,150.0	50	n/a



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Environmental Requirements have been reviewed by:  
Kyle D'Appolonia, Environmental Coordinator - Environmental Services

**OTHER COMMENTS:**

A demolition permit must be secured with the building division for each applicable structure to be removed.

Should removal of soil from the site exceed 100 cubic metres in one year (approximately 10 tandem axle trucks), the following provisions apply:

- The applicant must obtain a Soil Removal, as outlined in Soil Removal Bylaw;
- The applicant will be responsible for the cost of the permit and the removal fee per cubic metre or per metric tonne, payable to the City;
- The applicant must comply with all provisions of the Soil Removal Bylaw.


Please contact Alfred Knox, Engineering Technologist, at [aknox@mission.ca](mailto:aknox@mission.ca) or 604-814-1287 for more information, or to apply for a Soil Removal Permit.

**RECOMMENDATION:**

From an engineering point of view, the application may proceed to adoption once the servicing requirements have been clarified and met as per the DSCB, Introduction, Items 10 and/or 11.



Prepared by:  
Jason Anthony, Engineering Technologist



Reviewed by:  
Tracy Kyle, Director of Engineering & Public Works



Jay Jackman, Manager of Development  
Engineering, Projects and Design