

Notice of Rezoning Bylaw

This Information Package has been compiled to provide further details about the proposed Zoning Bylaw Amendment for the subject property.

Meeting Date: **January 20, 2025**
Subject Properties: 9099, 9107 & 9111 Cedar Street
Planning File: R22-045

If you have questions regarding this information, please contact Planning at (604) 820-3748 or planning@mission.ca.

(Project File: P2022-104)

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CITY OF MISSION

BYLAW 6332-2024-5949(178)

A Bylaw to amend "District of Mission
Zoning Bylaw 5949-2020"

WHEREAS, under the provisions of the *Local Government Act*, a Council may, by bylaw, divide the municipality into zones and regulate the use of land, buildings and structures within such zones;

AND WHEREAS the Council of the City of Mission has adopted "District of Mission Zoning Bylaw 5949-2020" and amended same from time to time;

AND WHEREAS the Council of the City of Mission deems it advisable and in the public interest to amend the Zoning Bylaw;

NOW THEREFORE the Council of the City of Mission, in open meeting assembled, ENACTS AS FOLLOWS:

1. This Bylaw may be cited for all purposes as "City of Mission Zoning Amending Bylaw 6332-2024-5949(178)."
2. "District of Mission Zoning Bylaw 5949-2020" as amended, is hereby further amended by:
 - a) rezoning the properties located at, and legally described as:
9099 Cedar Street
Parcel Identifier: 011-391-774
Lot 3 Except: Parcel "D" (Reference Plan 16429); Section 32
Township 17 New Westminster District Plan 9442

9107 Cedar Street
Parcel Identifier: 009-261-834
Lot "A" Section 32 Township 17 New Westminster District Plan 10182

9111 Cedar Street
Parcel Identifier: 009-261-869
Lot "B" Section 32 Township 17 New Westminster District Plan 10182

from Suburban 20 (S20) Zone to Multi-unit Townhouse One (MT1) Zone; and
 - b) amending the zoning maps accordingly.

READ A FIRST TIME this __ day of ____, 2024

READ A SECOND TIME this __ day of ____, 2024

READ A THIRD TIME this __ day of ____, 2024

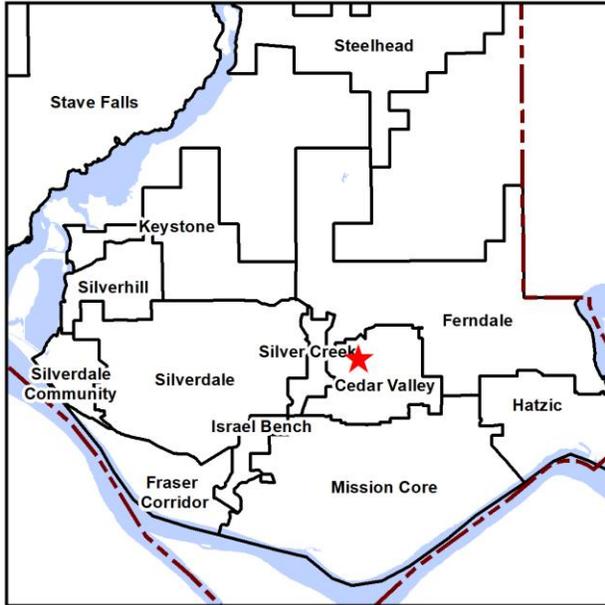
ADOPTED this __ day of ____, 2024

PAUL HORN
MAYOR

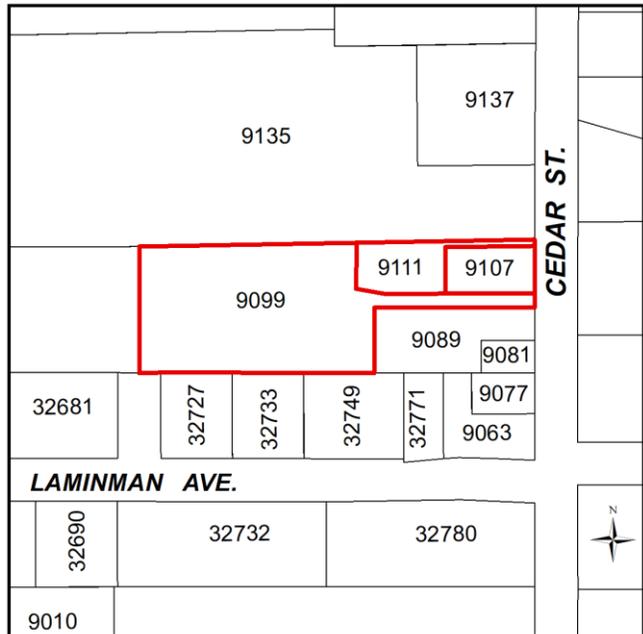
JENNIFER RUSSELL
CORPORATE OFFICER

Project: P2022-104
 Application Numbers: R22-045, DP22-127, DV22-027

Subject: Development Application at 9099, 9107 & 9111 Cedar Street – Introduction Report



DATE: December 2, 2024
BYLAW / PERMIT #: 6332-2024-5949(1798)
 6333-2024
PROPERTY ADDRESSES: 9099, 9107, 9111 Cedar Street
LOCATION: Cedar Valley
CURRENT ZONING: Suburban 20 Zone (S20)
PROPOSED ZONING: Multi-unit Townhouse One Zone (MT1)
CURRENT OCP: Attached Multi-unit Residential
PROPOSED OCP: No change
PROPOSAL: To rezone the property to permit the construction of up to 45 townhouses.



Recommendation(s)

This report is provided for information. No action is required.

Notification to the public will begin following the December 2, 2024 Council meeting and following notification, this application will be forwarded to Council for consideration.

Rationale of Recommendation(s)

Official Community Plan and Cedar Valley Local Area Plan Compliance

The application to rezone the development site to allow up to 45 townhouse units is consistent with the property's Attached Multi-unit Residential designation. The Attached Multi-unit Residential designation allows for a variety of multi-family housing forms, including townhouses.

The development proposal is consistent with OCP policy 8.1.3.4 which states that the attached multi-unit development should be located near neighbourhood centres, schools, and parks. The location of the proposed townhouses is in close proximity to the local school and park.

Purpose

To accommodate the construction of up to 45 townhouse units subject to rezoning and the approval of variances. The site plan is shown in **Attachment A**.

Site Characteristics and Context

Applicant

- Darren Hall, Trio Architecture Inc.

Property Sizes

- The size of the site is 9,258 sq m and involves three properties. A 4 m road dedication along Cedar Street is required.
- The existing structures will be removed.
- The grounds are relatively flat.

Neighbourhood Character

- This flat suburban area is redeveloping to urban multi-unit residential uses primarily in a Townhouse format. A Neighbourhood Centre is proposed towards the southeast.
- The Cedar Valley Local Area Plan designates the site as Attached Multi-unit Residential. The surrounding land designations are:
 - north - Institutional to accommodate a proposed school;
 - south - Attached Multi-unit Residential and Neighbourhood Centre;
 - west - Attached Multi-unit Residential; and
 - east - Attached Multi-unit Residential.
- There are several active development applications in the neighbourhood.

Environmental Protection

- The land is located within the City's Multi-unit Residential Development Permit Area, Natural

Environment Development Permit Area, and the Cedar Valley Neighbourhood.

- There are no major environmental issues identified on the lands.
- The guidelines prescribed in the OCP Section 9.7 and the tree retention and removal policy in LAN.32 apply to the site. Landscaping will be done as per the Landscaping Plan contained in the Development Permit.
- The development proposes to utilize a communal waste collection rather than door to door curbside waste collection because the traffic circulation within the complex restricts truck turning movements in the eastern portion of the site.

Parks and Trails

- A public walkway will flank the northern property line, as shown on **Attachment A**. The walkway facilitates access to the proposed school and parkland to be developed to the north.
- The land for half of the walkway along the northern property line will be dedicated and the developer will provide cash-in-lieu of construction as part of this development. Construction of the walkway will occur once all the lands for the walkway have been acquired.

Servicing

- Development of this area will require servicing, as outlined in the Engineering Department under "Referrals".
- The developer will be required to dedicate a 1.5 m strip of land for a walkway along the northern property line. This represents half of the walkway's overall width. The other half will come from the proposed school site.
- The developer will be required to upgrade the road stub projecting north between 32681 and 32727 Laminman Avenue. This road stub will serve as the primary access to the development. Access from Cedar Street will be prohibited because Cedar Street is a designated arterial.

Referrals

Engineering Department: Refer to **Attachment B**.

Environmental Services: Refer to **Attachment C**.

Mission Fire Rescue Service: The vehicle entrance on the southwest corner of the development appears sub-standard, The developer is to confirm the configuration will meet the turning requirements outlined in the Development and Subdivision Control Bylaw, when turning east into the development from the entrance to the site.

School District 75: The School District is hoping that as development continues to move north on Cedar, that pedestrian improvements will be considered as well, to ensure students have a safe route to school. The development is expected to generate 16 elementary students that would attend Albert McMahan, and an additional 12 students that would attend middle and high schools.

Development Considerations

Street Naming

In accordance with Section 39 of the *Community Charter* and Council Policy Street Naming STR.28(C), a bylaw shall be prepared to provide a name for the opening of an unnamed road stub projecting north between the properties at 32681 and 32727 Laminman Avenue. The road will be built as the principal access to the site since access from Cedar Street, a designated arterial, will not be available.

The City's Street Naming policy advises that lesser roads that are unlikely to extend as through roads should be designated either "Terrace", "Place" or "Court". In this case the brevity of the road warrants "Court". The road name "Laminman Court" quickly identifies its proximity with the better known Laminman Avenue. The draft of Street Naming Bylaw #6333-2024 is in **Attachment D**.

Development Implications

The proposed development limits the development potential of the properties at 9077 and 9081 Cedar Street which are designated Neighbourhood Centre. Their only access is to Cedar Street, an arterial, and therefore will need to be consolidated with the lands to the south as part of a cohesive Neighbourhood Centre development.

Community Amenity Contribution

The applicant has volunteered to contribute \$7,200 per unit in accordance with Policy LAN.42(C).

Tree Management

The arborist report identifies that 38 trees will be removed. The landscaping of the development will be done in accordance with the Development Permit.

Development Permit DP22-059 – Multi Unit Residential

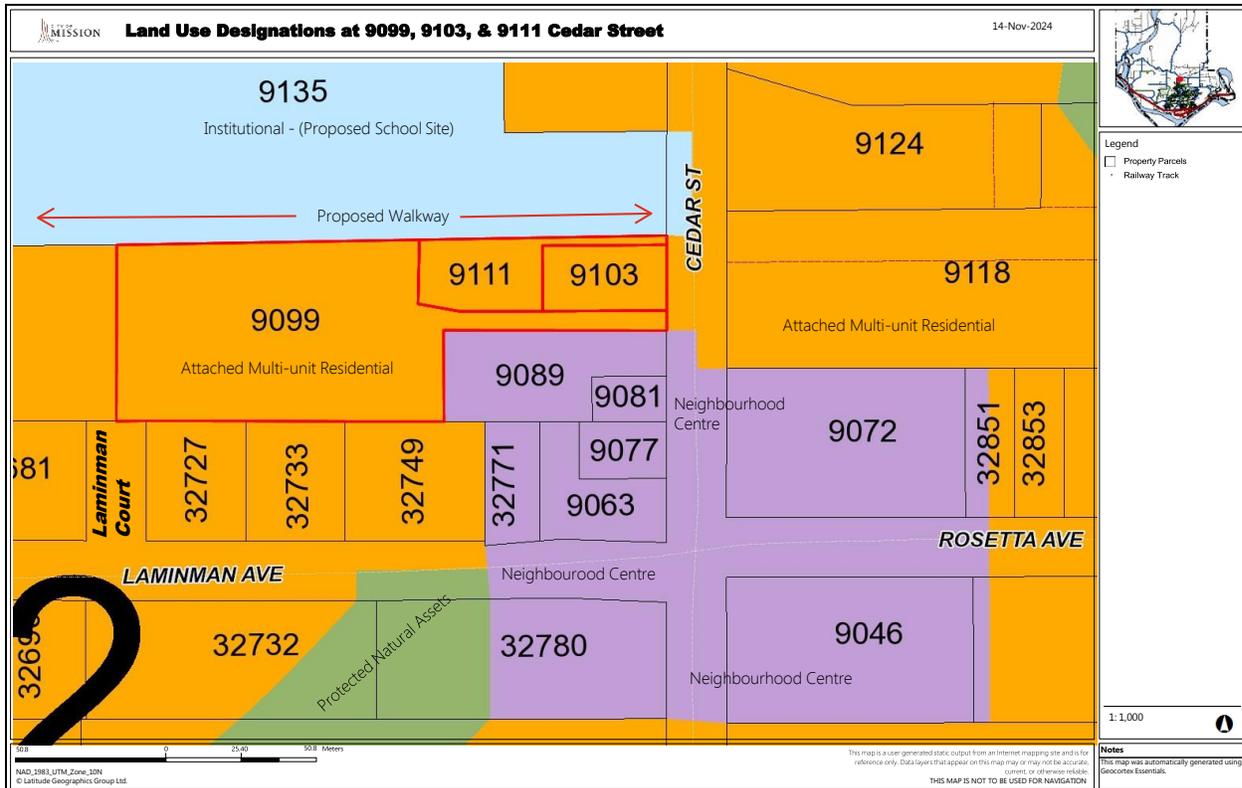
Development Permit DP22-127 is shown in **Attachment E**. The proposed development is consistent with the following design guidelines:

Guidelines	Meets Guidelines	Does Not Meet Guidelines
Design the site layout and building locations to: <ul style="list-style-type: none"> • reduce overlooking and shadowing of outdoor use areas and adjacent buildings; • encourage the penetration of sunlight and natural light into interior spaces to reduce the energy needed for lighting and heating, using passive solar siting principles; 	X	
Locate amenity spaces within the site, such as courtyards, gathering spaces, play areas, community gardens, and dog off-leash areas, in areas with high visibility and optimal access to all residents. This means the amenity space should be located: <ul style="list-style-type: none"> • adjacent to the primary entrance, or in a central location, of the development site when a development consists of townhouses, rowhouses, or other ground-oriented development; 	X	
Orient building frontages and main entrances to the dominant street frontage, with well-defined entries and with walkways and bicycle access to the street, including the following: <ul style="list-style-type: none"> • townhouse residential units have their "front door" (i.e., principal public entry) facing the public street where possible, or otherwise to the internal road; and Where multi-unit developments do not directly face the street, consider interesting facades facing the street, clear pedestrian access to the street, and individual unit gates and entrances on the street.	X	

Guidelines	Meets Guidelines	Does Not Meet Guidelines
Consider appropriate safety and natural surveillance measures (such as substantial lighting, visual access, and sight lines) per CPTED principles.	X	
Design residential units facing streets so that primary living areas have a clear view of the street.	X	
Design buildings with architectural interest, using design features such as varying rooflines, extensive glazing, well defined entrances, business specific signage, and high-quality exterior elements.	X	
Design with parking garages or carports facing away from the street as much as possible.	X	
Design buildings with varied facades and articulated rooflines, or design in a contemporary style that offers visual interest, to discourage large bland buildings that do not reflect the character or scale of Mission.	x	
Screen rooftop mechanical equipment from views in a manner that is consistent with the architectural design of the building.	X	
Design facades and rooflines of accessory structures and buildings in a manner that is consistent with the architectural design of the principal buildings.	X	
Use durable and high-quality building materials, integrating natural materials such as local stone, brick, and wood, as well as low emissivity (low-E) glass.	X	
A clear, direct, and attractive pathway system, preferably with landscape treatment, is encouraged to connect the buildings with parking lots and sidewalks along fronting streets.	X	
Encourage landscape designs that use native plants and low maintenance approaches, e.g., drought resistant, low water requirement plants where possible.	X	
Consider energy efficiency and conservation in landscape design, e.g., provide shade in summer, moderate wind, and allow sunlight and daylight into buildings.	X	
Blend parking areas into the landscape, rather than having them dominate it, by distributing parking areas and separating them with landscaping, especially between parking areas of adjacent dwelling units.	X	
Townhouse developments are to provide an enclosed parking space for each dwelling unit, with access to additional shared spaces.	X	
Parking areas should be visually separated from streetscape views with landscape areas.	X	
Views into the development to maintain site safety should be integrated into the landscape plan.	X	
Roads internal to the site should be laid out in a circulation manner.	X	
Driveways to individual units should be useable. This means the driveway length should be less than 1m or greater than 6 m.	X	
End units should be designed with additional architectural detail.	X	
Locate Garbage, Composting and Recycling container areas where they are accessible to residents and to container pick-up trucks, screen them with an appropriate durable enclosure, and provide landscaping around the perimeter of the enclosure where possible. Avoid direct exposure of refuse and recycling areas to public streets.	X	

The design is characterized by the following:

- Access to the townhouse complex will be off Laminman Avenue via an unbuilt road stub situated between 32681 and 32727 on Laminman Avenue as shown below. The Cedar Street access will be closed because Cedar Street is a designated arterial road.



- The configuration has three dwelling units facing Cedar Street, 22 dwelling units overlooking the proposed school site to the north, and the remaining 20 dwelling units orientated around an internal courtyard.
- A public multi-use path, identified in the Cedar Valley Plan, will flank the northern property line.
- The proposed school site to the north invites this development to incorporate Crime Prevention Through Environmental Design (CPTED) principles and serve as the “eyes on the street” over the school’s grounds and multi-use pathway.
- The inability to provide circular garbage truck access to buildings 8 to 10 (eastern portion) prohibits curbside garbage collections thereby causing this development to adopt a communal waste collection facility.
- The buildings are three storeys in height with roof decks. The design uses a combination of ground-oriented yard space and roof decks to exceed the minimal amenity area requirements for each dwelling unit.
- Most of the residents’ parking is in side-by-side garages. Only building blocks 8 and 9 employ tandem parking over their 10 dwelling units. (see **Attachment F- Variance Map**).
- Private yard spaces are exposed to either the multi-use path along the north property line, fronting Cedar Street on the east, or oriented to the interior courtyard framed by buildings 1 to 4.
- The panhandled configuration of the lot assembly prohibits circular traffic flows through the eastern portion of the site.
- The amenity building and outdoor features are in the southwestern portion of the site near the main entrance. The amenity building contains an elevator to access three levels plus the roof deck.

- The development potential of the properties at 9077 and 9081 Cedar Street is limited, given the restricted access to Cedar Street. However, these properties are designated Neighbourhood Centre. Therefore, they will have a different and distinct form compared to this project. This precludes incorporating these properties as part of this development to offset the limitations of the ‘panhandle’ configuration that affects building blocks 8 and 9.

While the development of the site has been designed to meet the several aesthetic aspects of the form and character guidelines, the applicant seeks to alter the yard setbacks, maximum building height, and parking provision of the Zoning Bylaw. The location of the variances is identified in **Attachment F**. The requested design variances are incorporated into the Development Permit and are identified on Tables 1, 2 and 3 below.

Table 1: Building Setback Variances

Section 704 MT1 Zone D 1. – Setbacks				
			Required	Proposed
1.	Rear (west lot line)	Building 5	7.5 m (24.6 ft)	6.69 m (21.9 ft)
2.	Interior (north lot line)	Building 5	7.5 m (24.6 ft)	4.5 m (14.4 ft)
3.	Interior (north lot line)	Building 6	7.5 m (24.6 ft)	4.9 m (16.0 ft)
4.	Interior (north lot line)	Building 7	7.5 m (24.6 ft)	5.3 m (17.3 ft)
5.	Interior (north lot line)	Building 8	7.5 m (24.6 ft)	5.5 m (18.0 ft)
6.	Interior (north lot line)	Building 9	7.5 m (24.6 ft)	5.9 m (19.3 ft)
7.	Interior (north lot line)	Building 10	7.5 m (24.6 ft)	4.2 m (13.7 ft)

Staff supports the north side yard relaxations that flank the proposed public walkway and school yard. These buildings will not interface with other residential dwellings. Therefore, the perception of proximity and privacy intrusion to other dwellings is muted. Given that there will be a public walkway along this lot line, it is beneficial in having these dwelling units acting as the “eyes on the street” over the public walkway and future school. This is in keeping with CPTED (Crime Prevention through Environmental Design) principles. For this reason, the relaxation in the north side yard setback is supported.

Table 2: Building Height Variances

Section 704 MT1 Zone G 1. – Building Height			
		Required	Proposed
1.	Building 8	12 m (39.4 ft)	12.2 m (40.1 ft)
2.	Building 9	12 m (39.4 ft)	12.1 m (39.7 ft)
3.	Amenity Building	11.5 (37.3 ft)	11.9 m (39.1 ft)

Staff supports the relaxations in building height. The building height variance of 0.2 m for buildings 8 and 9 is minor and reflects minor variations in the site’s grading. The increase in height will hardly be noticed given all buildings utilize roof decks as part of the private amenity area and only the relatively small roof top access portal projects above the allowable height.

The building height variance on the amenity building from 11.5 m to 11.9 m provides better uniformity in design because the amenity building is attached to and forms part of the same building block. The roof line of four other townhomes project into the roof line of the amenity building. Since the amenity building is not a stand-alone building, and the aesthetics are improved by the seamlessly integration of the amenity building's roofline with the other attached townhomes, this variance is supported.

Table 3: Parking Stall Locations and Dimensions

Section 109 Off Street Motor Vehicle Parking Regulations (Townhouse) MT1			
L – Residential			
Category		Required	Proposed
1.	Parking permitted with side yard setbacks	0 stalls	1 stall in west rear yard 3 stalls in east side yard 1 stall in the south side yard
2.	Parking stall width adjacent to a wall	3.0 m	1 stall between Buildings 1 & 2 at 2.6 m 1 stall between Buildings 5 & 6 at 2.6 m 1 stall between Buildings 8 & 9 at 2.6 m

- The majority of the overall parking layout is provided by utilizing side-by-side garages rather than tandem parking.
- Utilizing the side yard for visitor parking accommodates retaining greater spatial separation between buildings 1 and 2, and buildings 3 and 4 that form around the inner courtyard.
- The option of reducing the courtyard and utilizing some of the courtyard space for parking is less desirable.
- Visitor parking in the side yards will be mitigated by landscaping.
- The accessible parking stall (stall #6) in the western side yard is near the amenity building. This proximity is a preferable feature.
- Visitor parking stalls #2 to 5 are in the eastern side yard adjacent the communal waste enclosure. The waste enclosure is within the 1.5 m yard setback provided for in the bylaw. The addition of parking stalls in this area is less disruptive aesthetically than the communal waste structure itself, and better than inserting parking stalls between buildings.

For the above reasons, relaxation on side yard parking is supported.

Staff are not generally supportive of the request to reduce stall width from 3.0 m to 2.6 m as requested in Table 3, item 2. A reduction in stall width will impact the function of the stall, and this is a green field development site that should be designed to accommodate the basic requirements. The applicant has been encouraged to amend the site plan to accommodate the required parking.

Conditions/Rationale of Development Variance Permit

The applicant seeks a Development Variance Permit (DP22-127) regarding the composition of resident tandem parking as noted in Table 4. (See **Attachment G**).

The applicant's rationale for the requested variances is described on **Attachment H**.

Table 4: Parking Composition

Section 109 Off-street Motor Vehicle Parking Regulations (Townhouse) MT1			
L – Residential			
Category		Required	Proposed
1.	Composition of Tandem Parking	A maximum of 25% of all Dwelling Units in a Townhouse development may have Parking (Tandem) and a maximum of 50% of all Dwelling Units in a Townhouse building may have Parking (Tandem)	No change Building blocks 8 & 9 have 100% tandem parking, representing 20% of the overall parking requirements.

Staff supports the variance for the following reasons:

- The provision to permit 100% tandem parking in building blocks #8 and 9 is not ideal but reflects the constraints imposed by the panhandled shape of the lot.
- The eastern part of the lot is too narrow to accommodate loading both sides of the travel aisle with townhomes.
- Narrowing the townhomes along this segment balances the site’s constraints.
- Acquiring the lots to the south would address the constraint of a narrow lot, but those lands have a Neighbourhood Centre designation.
- The commercial/residential land use of a Neighbourhood Centre invokes a different form and character than an Attached Multi-unit Residential designation.
- The total amount of tandem parking within the development is 20%, which is less than the 25% allowed.

Housing Needs Projections

If this development is approved, it will add 45 market-oriented strata titled townhomes to the City’s housing stock.

Transit

The proposed development is approximately 1,000 m from a transit stop which is located to the south at Egglestone Avenue and Cedar Street. Walking distances up to 400 m are considered with a transit catchment area.

Financial Implications

There are no financial implications associated with this report.

Communication

LAN 66 Neighbourhood Engagement Policy

In accordance with Neighbourhood Engagement Policy LAN.66, the applicant held a public engagement meeting at Mission Leisure Centre on November 5, 2024 from 5:00 pm – 7:00 pm.

A notification letter was sent to properties within 152 m of the development site. The letter included a description of the project and link to the project website. There were four people in attendance at the

meeting, not including developers, and one municipal employee.

The residents filled out and submitted comment cards. The applicant summarized the feedback on the comment cards and provided the City with a summary of the comments (**Attachment I**). Staff have reviewed the submitted comment cards and the summary provided by the applicant and can confirm the summary from the applicant accurately reflects the comments received.

As described in the summary, the primary comments from the public meeting include concerns regarding:

- Drainage onto their property.

LAN.03 - Development Notification Requirements

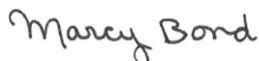
- Communication action, as listed below, is in accordance with Policy LAN.03 Development Notification Signs, Land Use Application Procedures and Fees Bylaw 3612-2003, and the *Local Government Act*.
- The applicant has posted one development notification sign.

Public notification will be sent to all occupiers and owners of properties within 152 m from the development site notifying them of the details.

Attachments

Attachment A:	Site Plan
Attachment B:	Engineering Comments
Attachment C:	Environmental Services Comments
Attachment D:	Street Naming Map
Attachment E:	Draft Development Permit DP22-127
Attachment F:	Variance Map
Attachment G:	Draft Development Variance Permit # DV22-027
Attachment H:	Developer's Variance Rationale Letter
Attachment I:	Public Engagement Summary Letter

Sign-Offs



Marcy Bond, A/Manager of Planning

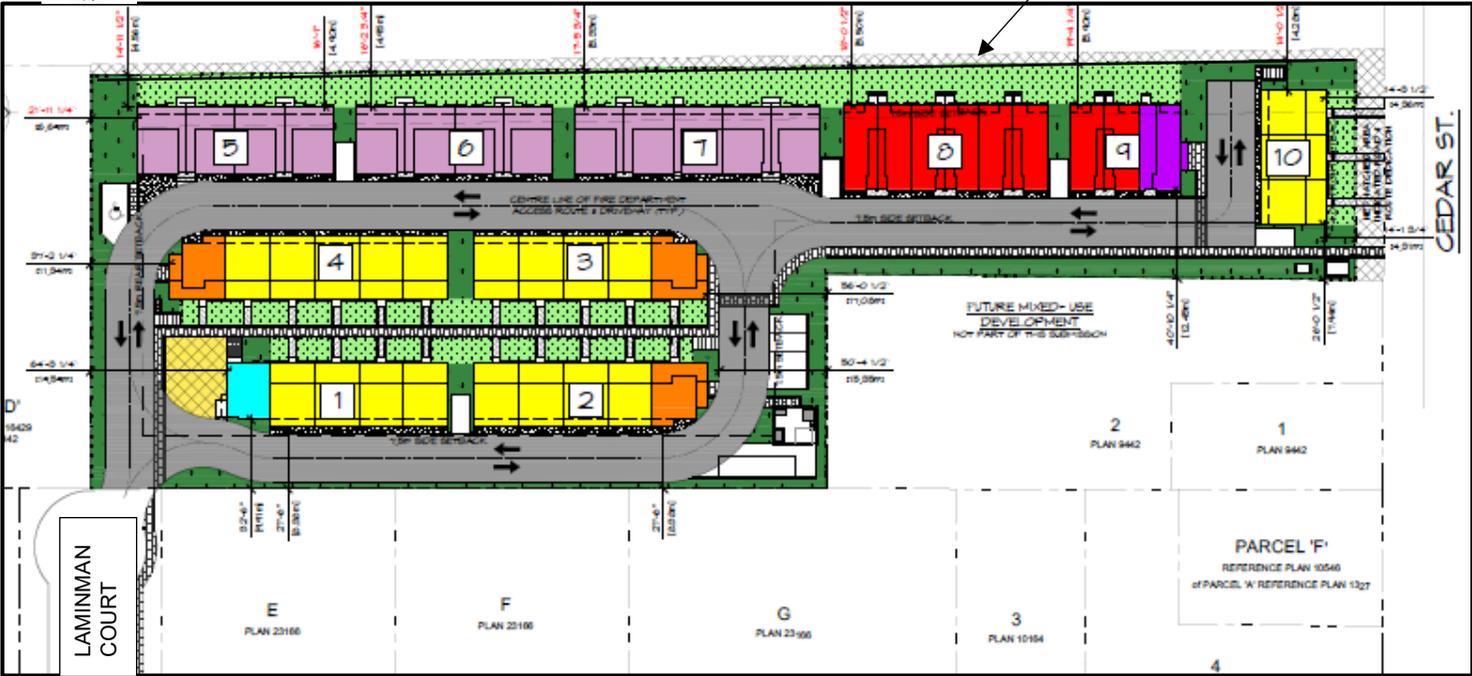
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Approved for Inclusion: Mike Younie, Chief Administrative Officer

Attachment A – Site Plan



Dedicated for Future Public Walkway



Attachment B - Engineering Comments
**ENGINEERING AND PUBLIC WORKS DEPARTMENT
REZONING COMMENTS**

DATE: March 18, 2024

CIVIC ADDRESS: 9099, 9103, & 9111 Cedar Street

CURRENT ZONE: SUBURBAN 20 (S20)

PROPOSED ZONES: MULTI-UNIT TOWNHOUSE ONE (MT1)

NOTE: The following Engineering Comments are made in accordance with the City of Mission Development and Subdivision Control Bylaw No. 5650-2017 (DSCB).

DOMESTIC WATER REQUIREMENTS:

Municipal water service is available on Cedar Street.

Upgrades and connection to the municipal system will be required at time of Subdivision/Development.

STORM SEWER REQUIREMENTS:

Municipal storm service is available on Cedar Street.

Upgrades and connection to the municipal system will be required at time of Subdivision/Development.

SANITARY SEWER REQUIREMENTS:

Municipal sanitary service is not available to the subject property.

Extension of municipal sanitary from Laminman Avenue shall be completed to the satisfaction of the Municipal Engineer as a condition of rezoning.

Upgrades and connection to the municipal system will be required at time of Subdivision/Development.

ROAD WORK REQUIREMENTS:

Cedar Street provides paved access to the site.

Cedar Street is classified as an Arterial Road in the Mission Mobility 2050 Transportation Plan and in the Cedar Valley Engineering Plan. Dewdney Trunk Road is currently 66 feet (20.11 metres) wide adjacent to the subject property. The Developer shall dedicate 4.0 metres of additional road right-of-way along Cedar Street as a condition of Rezoning.

Road upgrades adjacent to the subject site will be required at time of Subdivision/Development.

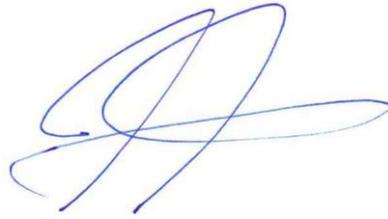
RECOMMENDATION:

From an engineering point of view, the rezoning application may proceed to 3rd Reading.

Attachment B - Engineering Comments
ENGINEERING AND PUBLIC WORKS DEPARTMENT
REZONING COMMENTS



Prepared by:
Jason MacPherson,
Engineering Technologist 1 - Development



Reviewed by:
Jay Jackman,
Manager of Development Engineering



DEVELOPMENT APPLICATION COMMENTS

Please provide your comments on the proposal below by Tuesday, March 12, 2024:

Referral Date:	Tuesday, February 27, 2024	Planner III: Marcy Bond
Project Folder:	P2022-104	Email: mbond@mission.ca
PAR Application #:	PAR21-039	Phone: 604-820-3750

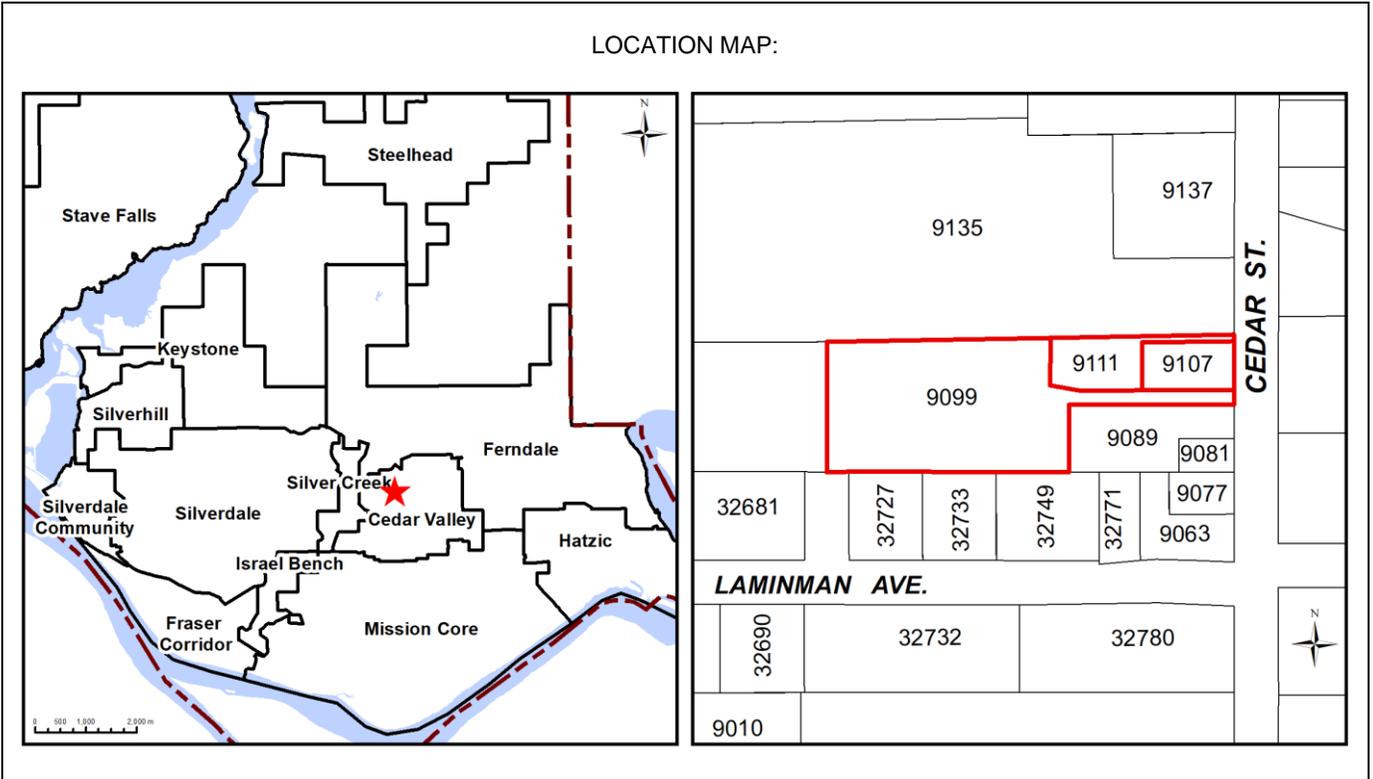
Subject Properties and
Legal Description:

9099 Cedar Street,
PID: 011-391-774; Lot 3, Except: Parcel "D" (Reference Plan 16429): Section 32, Township 17,
New Westminster District Plan 9442

9107 Cedar Street
PID: 009-261-834; Lot A Section 32, Township 17, New Westminster District Plan 10182

9111 Cedar Street
PID: 009-261-869; Lot B Section 32, Township 17, new Westminster District Plan 10182

LOCATION MAP:



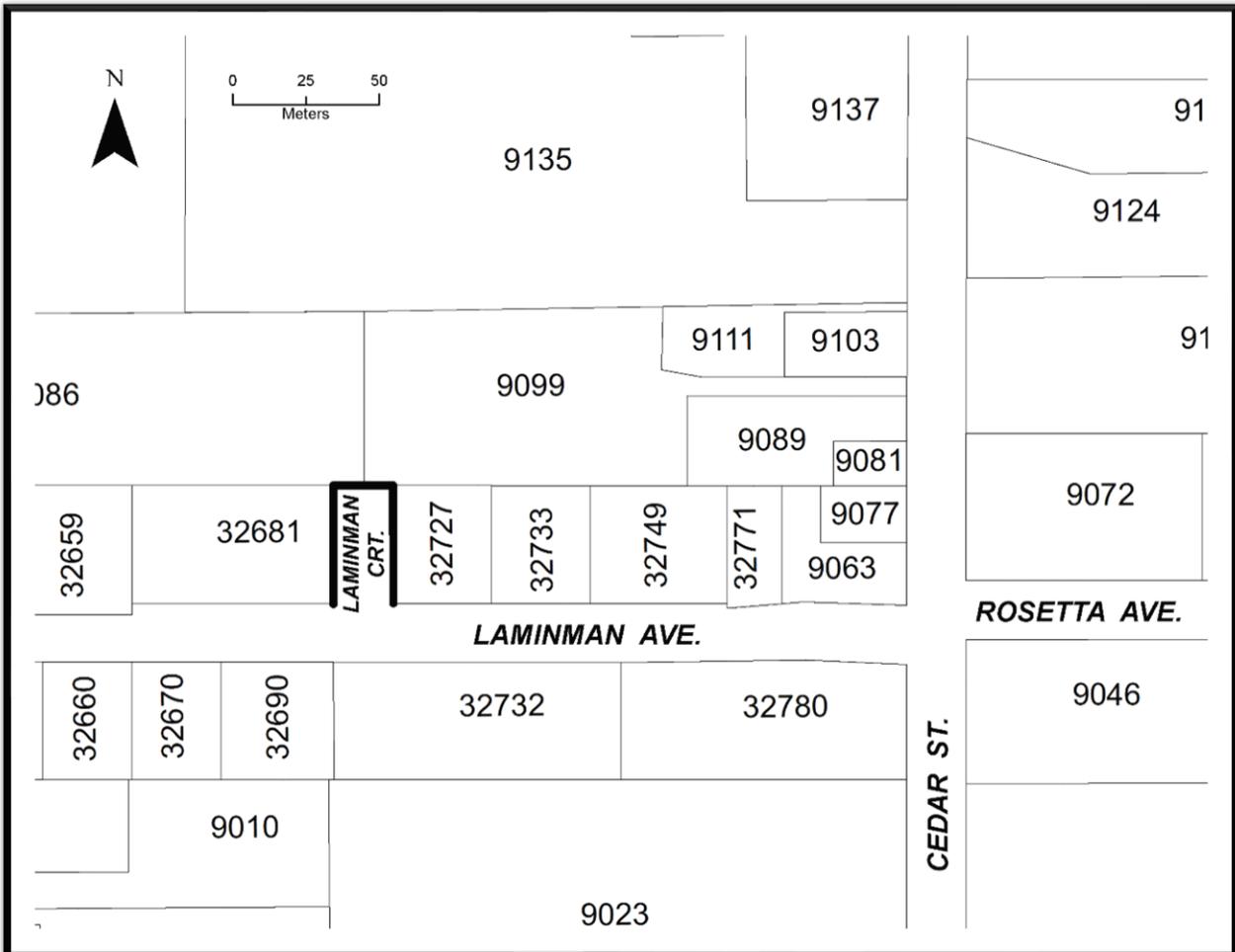
COMMENTS RECEIVED	Project: P2022-104
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Attachment C- Environmental Services Comments



Comments:	<p>The site is located within the City's Natural Environment Development Permit Area and the Cedar Valley Neighborhood. Please refer to the Official Community Plan (Section 9.7) and the Cedar Valley Local Area Plan (CVLAP) (Section 4), respectively.</p> <p>IMPORTANT: No trees, other vegetation, waterbody, or soil is to be removed or disturbed before the City has issued the Natural Environment Development Permit.</p> <p>A Preliminary Bioinventory Report was prepared by Redcedar Environmental Consulting (August 2022). This assessment indicated that a perimeter ditch was identified along the western property line; however, was classified as an agricultural drainage which was not subject to the Water Sustainability Act. In general, the existing habitat was of low value to sensitive wildlife species. This report identified Japanese knotweed at the site (location and quantity were undisclosed). As per Section 4.5 of the CVLAP a Noxious Weed Management Plan is required. Please ensure the recommendations outlined in this report are implemented during development.</p> <p>An Arborist Report was prepared by Central Valley Arborist Consulting Ltd. (July 2022). The report indicates that there will be 38 trees removed from the site and one tree removed off-site. Eleven trees were identified for retention on-site; however, as they are situated with the side setbacks (and not building envelopes) there will be no credit issued for these trees under LAN.32. Each of the 38 trees will require replacement. Written consent from the property owner will be required to remove off-site tree "L".</p> <p>The waste enclosure does not meet the minimum requirements to house all recycling, organics, and glass bins. It appears to be 20.84 m² the minimum is 31m², they will also need additional space to accommodate a garbage bin.</p> <p>The applicant has not provided a designated collection/loading locations as per Schedule L.</p> <p>It should be noted that curbside collection from townhomes and row homes is preferred over onsite collection from a communal waste enclosure. Curbside collection is more convenient and accessible for residents particularly during inclement weather and for those physically unable to haul their material to a waste enclosure. It encourages waste diversion and aligns with OCP guiding principle Environmental Stewardship- encouraging individuals and the community to take responsibility for the appropriate handling and disposal of wastes, working towards zero waste.</p> <p>Curbside collection from individual homes does require that there be adequate wildlife resistant storage for all waste bins and room for bin placement on collection day should be considered. This complex would be conducive to curbside collection if an adequate turn around was installed at the eastern portion of the site.</p>
Name:	Kyle D'Appolonia
Department or Organization:	Environmental Services
Date:	March 7, 2024

Attachment D - Street Naming Map - Laminman Court



**CITY OF MISSION
DEVELOPMENT PERMIT DP22-127**

Issued to: 1244805 BC Ltd. Inc. No. BC 1244805
Paramveer Singh Tiwana
Amarjeet Singh Sekhon

(Owner as defined in the Local Government Act,
hereinafter referred to as the Permittee)

Address: 1244805 BC Ltd. Inc. No. BC 1244805
Preet Dhillon
PO Box 712 Station A
Abbotsford BC V2T 6Z8

Paramveer Singh Tiwana
30611 Sandpiper Drive
Abbotsford BC V2T 1R1

Amarjeet Singh Sekhon
Preet Kawal Singh Dhillon
32109 Pineview Avenue
Mission BC V2T 1R1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This Development Permit applies to and only to those lands within the Municipality, and more particularly known and described as below, and any and all buildings, structures and development thereon:

Address: 9107 Cedar Street
Parcel Identifier: 009-261-834
Legal Description: Lot "A" Section 32 Township 17 NWD Plan 10182

Address: 9111 Cedar Street
Parcel Identifier: 009-261-869
Legal Description: Lot "B" Section 32 Township 17 NWD 10182

Address: 9099 Cedar Street
 Parcel Identifier: 011 301 774
 Legal Description: Lot 3 Except Parcel "D" (Reference Plan 16429); Section 32, Township 17 NWD Plan 9442

3. The above property has been designated as **Development Permit Area B Multi-unit Residential** in the Official Community Plan.

The said lands are zoned Multi-unit Townhouse One Zone (MT1) pursuant to "District of Mission Zoning Bylaw 5949-2020" as amended.

"District of Mission Zoning Bylaw" as amended is hereby supplemented in respect of the said lands as follows:

Section 704 MT1 Zone D 1. - Setbacks				
			Required	Proposed
1.	Rear (west lot line)	Building 5	7.5 m (24.6 ft)	6.69 m (21.9 ft)
2.	Interior (north lot line)	Building 5	7.5 m (24.6)	4.5 m (14.4 ft)
3.	Interior (north lot line)	Building 6	7.5 m (24.6)	4.9 m (16.0 ft)
4.	Interior (north lot line)	Building 7	7.5 m (24.6)	5.3 m (17.3 ft)
5.	Interior (north lot line)	Building 8	7.5 m (24.6)	5.5 m (18.0 ft)
6.	Interior (north lot line)	Building 9	7.5 m (24.6)	5.9 m (19.3 ft)
7.	Interior (north lot line)	Building 10	7.5 m (24.6)	4.2 m (13.7 ft)

Section 704 MT1 Zone G 1. - Building Height				
			Required	Proposed
1.	Building 8		12 m (39.4 ft)	12.2 m (40.1 ft)
2.	Building 9		12 m (39.4 ft)	12.1 m (39.7 ft)
3.	Amenity Building		11.5 (37.3 ft)	11.9 m (39.1 ft)

Section 109 Off-street Motor Vehicle Parking Regulations (Townhouse) MT1 L – Residential			
Category		Required	Proposed
1.	Permitted side yard parking	0 stalls	1 stall in west rear yard 3 stalls in east side yard 1 stall in the south side yard.
2.	Parking stall width adjacent a wall	3.0 m	1 stall between Buildings 1 & 2 at 2.6 m 1 stall between Buildings 5 & 6 at 2.6 m 1 stall between Buildings 8 & 9 at 2.6 m.

Building design, siting and landscaping plans to be as shown on Drawings Numbered A – 0.0 to A – 0.3, A – 1.1 to A – 1.4, A - 3.1 to A – 3.18 inclusive, and landscape drawing L-0, L-1, L-1A, L-1B) which are attached hereto and form part of this permit.

Minor changes to the aforesaid drawings that do not affect the intent of this Development permit and the general appearance of the buildings and character of the development may be permitted, subject to the approval of the Municipality.

4.

- (a) The said lands shall not be built on and no building shall be constructed, installed or erected on the subject property, unless the building is constructed, installed or erected substantially in accordance with development plans numbered [Click here to type drawing numbers] inclusive, prepared by [Click here to type name of company that prepared drawings] (hereinafter referred to as “the plans”), unless approval in writing has been obtained from the Municipality to deviate from the said development plan.
- (b) Access to and egress from the said lands shall be constructed substantially in conformance with the plans.
- (c) Parking and siting thereof shall substantially conform to the plans.
- (d) The following standards for landscaping are imposed:
 - (i) All landscaping works and planting materials shall be provided in accordance with the landscaping plan and specifications thereon, which form part of this permit and is attached hereto as Drawing Number [Click here to type drawing number] prepared by [Click here to type name of company that prepared the drawing] .
 - (ii) All planting materials provided shall be able to survive for a period of one (1) year from the date of the site approval by the Municipality.

5. As a condition of the issuance of this development permit, the Municipality must have in its possession, prior to issuance of a building permit for this development, security as set out below to ensure satisfactory provision of landscaping in accordance with the terms and conditions as set forth in Clauses 5 (b) and (c) below. It is acknowledged that, at the time of issuance of this development permit, the municipality does not have such security in its possession. Any prospective purchaser or developer should be aware that this requirement will need to be fulfilled prior to issuance of a building permit for the development outlined in this permit.

(a) An Irrevocable Letter of Credit in the amount of \$198,609 for the purpose of:

(b) A condition of the posting of the security is that should the Permittee fail to carry out the works or services as herein above stated, according to terms and conditions of this permit within the time provided, the Municipality may use the security to complete these works or services by servants, agents or contractors, and any surplus shall be paid over to the Permittee. If the security deposit is insufficient to cover the actual cost of completing the said works, then the Developer shall pay such deficiency to the Municipality immediately upon receipt of the Municipality's bill for same.

(c) The Permittee shall complete the landscaping works required by this permit within six (6) months of the occupancy permit being issued for the building(s) / addition. Within this six (6) month period, the required landscaping must be installed by the Permittee, and inspected and approved by the Municipality.

If the landscaping is not approved within this six (6) month period, the Municipality has the option of continuing to renew the security until the required landscaping is completed or has the option of drawing the security and using the funds to complete the required landscaping. In such a case, the Municipality or its agents have the irrevocable right to enter into the property to undertake the required landscaping for which the security was submitted.

If the landscaping is approved within the six (6) months or thereafter in accordance with the preceding paragraph, without the Municipality having to draw the security, 90% of the original security will be returned to the Permittee.

A holdback of 10% of the original security will be retained until a final inspection is undertaken within 12 months of the date of the original inspection approval was given to the landscaping. If the landscaping receives approval at final inspection, the 10% holdback will be returned to the Permittee. If, after the final inspection, approval of the landscaping is not given, the Municipality has the option of continuing to renew the security until the required landscaping is approved or has the option of drawing the security and using the funds to complete the required landscaping. In such a case, the Municipality or its agents have the irrevocable right to enter onto the property to undertake the required landscaping for which the security was submitted.

6. The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this permit and any plans and specifications attached to this permit shall form a part hereof.

7. This permit shall lapse if the Permittee does not substantially commence the construction of the first phase of a phased development permitted by this permit within two (2) years of the date of this permit.
8. The terms of this permit or any amendment to it, are binding on all persons who acquire an interest in the land affected by this permit.
9. This permit is not a building permit.

AUTHORIZING RESOLUTION NO. [Click here to type resolution number] passed by the Council on the [Click here to type day of the month] day of [Click here to type month] , [Click here to type year] .

IN WITNESS WHEREOF this Development Permit is hereby issued by the Municipality signed by the Mayor and Corporate Officer the [Click here to type day of the month] day of [Click here to type month] , [Click here to type year] .

MAYOR

CORPORATE OFFICER

Development Permit DP22-127

Document2



PROPOSED TOWNHOUSE DEVELOPMENT

9099, 9107 & 9111 CEDAR STREET MISSION, B.C.

TRIO Architecture Inc.
 Info@trioarchitecture.ca Unit B 33623 Wildwood Drive
 604.854.3740 Abbotsford, BC V2S 1S2

ARCHITECT:
 TRIO ARCHITECTURE INC.
 Contact: Darren Hall
 33623 Wildwood Dr. Abbotsford, B.C. V2S 1S2
 p. 604.854.3750
 email: darren.h@trioarchitecture.ca
 web site: www.trioarchitecture.ca

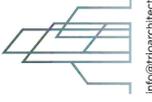
CIVIL:
 D.K. BOWINS & ASSOCIATES INC.
 8955 Emory Street Mission, B.C. V4S 1A6
 f. 604.826.4399
 email: dbowins@shaw.ca

LANDSCAPE:
 C.KAVOLINAS & ASSOCIATES INC.
 Contact: Clark Kavolinas
 2462 Jonquil Court Abbotsford, B.C. V3G 3E8
 p. 604.857.2376
 f. 604.850.2369
 email: kavolinas@shaw.ca

Architectural Seal

ARCHITECTURAL DRAWING INDEX

NUMBER	DESCRIPTION
COVER	COVER SHEET
A-0.0	DRAWING INDEX
A-0.1	PERSPECTIVE VIEW 1 & 2
A-0.2	PERSPECTIVE VIEWS 3 & 4
A-0.3	PERSPECTIVE VIEWS 5 & 6
A-1.1	KEY PLAN & SITE RECONCILIATION
A-1.2	SITE PLAN
A-1.3	SITE GRADING PLAN
A-1.4	AMENITY SPACE RECONCILIATION
A-2.1	BUILDING #1 - LOWER FLOOR PLAN
A-2.2	BUILDING #1 - MAIN FLOOR PLAN
A-2.3	BUILDING #1 - UPPER FLOOR PLAN
A-2.4	BUILDING #1 - ROOF DECK PLAN
A-2.5	BUILDING #2 & 4 - LOWER FLOOR PLAN
A-2.6	BUILDING #2 & 4 - MAIN FLOOR PLAN
A-2.7	BUILDING #2 & 4 - UPPER FLOOR PLAN
A-2.8	BUILDING #2 & 4 - ROOF DECK PLAN
A-2.9	BUILDING #3 - LOWER FLOOR PLAN
A-2.10	BUILDING #3 - MAIN FLOOR PLAN
A-2.11	BUILDING #3 - UPPER FLOOR PLAN
A-2.12	BUILDING #3 - ROOF DECK PLAN
A-2.13	BUILDING #5, 6 & 7 - LOWER FLOOR PLAN
A-2.14	BUILDING #5, 6 & 7 - MAIN FLOOR PLAN
A-2.15	BUILDING #5, 6 & 7 - UPPER FLOOR PLAN
A-2.16	BUILDING #5, 6 & 7 - ROOF DECK PLAN
A-2.17	BUILDING #8 - LOWER FLOOR PLAN
A-2.18	BUILDING #8 - MAIN FLOOR PLAN
A-2.19	BUILDING #8 - UPPER FLOOR PLAN
A-2.20	BUILDING #8 - ROOF DECK PLAN
A-2.21	BUILDING #9 - LOWER FLOOR PLAN
A-2.22	BUILDING #9 - MAIN FLOOR PLAN
A-2.23	BUILDING #9 - UPPER FLOOR PLAN
A-2.24	BUILDING #9 - ROOF DECK PLAN
A-2.25	BUILDING #10 - LOWER FLOOR PLAN
A-2.26	BUILDING #10 - MAIN FLOOR PLAN
A-2.27	BUILDING #10 - UPPER FLOOR PLAN
A-2.28	BUILDING #10 - ROOF DECK PLAN
A-3.1	BUILDING #1 - FRONT & REAR ELEVATIONS
A-3.2	BUILDING #1 - LEFT & RIGHT ELEVATIONS
A-3.3	BUILDING #2 - FRONT & REAR ELEVATIONS
A-3.4	BUILDING #2 - LEFT & RIGHT ELEVATIONS
A-3.5	BUILDING #3 - FRONT & REAR ELEVATIONS
A-3.6	BUILDING #3 - LEFT & RIGHT ELEVATIONS
A-3.7	BUILDING #4 - FRONT & REAR ELEVATIONS
A-3.8	BUILDING #4 - LEFT & RIGHT ELEVATIONS
A-3.9	BUILDING #5 - FRONT & REAR ELEVATIONS
A-3.10	BUILDING #5 - LEFT & RIGHT ELEVATIONS
A-3.11	BUILDING #6 - FRONT & REAR ELEVATIONS
A-3.12	BUILDING #6 - LEFT & RIGHT ELEVATIONS
A-3.13	BUILDING #7 - FRONT & REAR ELEVATIONS
A-3.14	BUILDING #7 - LEFT & RIGHT ELEVATIONS
A-3.15	BUILDING #8 - FRONT & REAR ELEVATIONS
A-3.16	BUILDING #8 - LEFT & RIGHT ELEVATIONS
A-3.17	BUILDING #9 - ELEVATIONS
A-3.18	BUILDING #10 - ELEVATIONS

Date: June 2024 Scale: AS NOTED Drawn: A.W. Checked: D.H. Project no.: 221042 Street no.: A-0.0	PROPOSED DEVELOPMENT 9099, 9107 & 9111 CEDAR STREET MISSION, B.C. DRAWING INDEX	Project: PROPOSED DEVELOPMENT PERMIT Issued By: D.H. Date: 2024/06/22
 TRIO Architecture Inc. Unit B 33623 Wilwood Drive Abbotsford, BC V2S 1S2 info@trioarchitecture.ca 604.854.3740		
Architectural Seal		
TRIOARCHITECTURE.CA		
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1 VIEW 3
A-0.2 SCALE: N. T. S.



2 VIEW 4
A-0.2 SCALE: N. T. S.

Date: June 2024 Scale: AS NOTED Drawn: S.K. / A.W. Checked: D.H. Project no.: 221042 Street no.:		Project: PROPOSED DEVELOPMENT 9099, 9107 & 9111 CEDAR STREET MISSION, B.C. drawing:		Architectural Seal:	
ISSUE TABLE No. 1 Date: 26/09/2022 By: D.H. Description: ISSUED FOR DEVELOPMENT PERMIT		REVISIONS No. _____ Date _____ By _____ Description _____		ALL DIMENSIONS & CONDITIONS MUST BE VERIFIED ON THE SITE THIS DRAWING IS THE EXCLUSIVE PROPERTY OF TRIO ARCHITECTURE INC. UNAUTHORIZED REPRODUCTIONS PROHIBITED.	
TRIOARCHITECTURE.CA TRIO Architecture Inc. info@trioarchitecture.ca Unit B 33523 Wildwood Drive 604.654.3740 Abbotsford, BC V2S 1S2					
Project: 9099, 9107 & 9111 Cedar Street/221042 - A-0.1-A-0.3 - Renderings.dwg - plotted by Lzeth @ June 19, 2024 9:28:18 AM					
A-0.2		PERSPECTIVES VIEWS 3 & 4			

CIVIC ADDRESS:

9099, 9107 & 9111 CEDAR STREET MISSION, B.C.

LEGAL DESCRIPTION:

LOT A & B PLAN 10182 & LOT 3 EXCEPT PARCEL 'D' (REFERENCE PLAN 16429)
 ALL OF SECTION 32 TOWNSHIP 11 NEN WESTMINSTER DISTRICT PLAN 9442
 PARCEL IDENTIFIER: LOT A = 009-261-834 (9107 CEDAR ST.)
 LOT B = 009-261-869 (9111 CEDAR ST.)
 REMAINDER LOT 3 = 011-341-174 (9099 CEDAR ST.)

SITE RECONCILIATION:

SITE AREA:
 ORIGINAL LOT AREA:
 97,612.15 sq.ft. = 9,068.46 sq.m. = 2.24 Acres = 0.90 Hectare
 LOT AREA (AFTER DEDICATION):
 93,253.97 sq.ft. = 8,663.58 sq.m. = 2.14 Acres = 0.86 Hectare

ZONING: CURRENT: S20 PROPOSED: MT1

SETBACKS:
PRINCIPAL BUILDING:
 EAST (FRONT): REQ'D: 4.00m (13.12') PROP.: 4.31m (14.14')
 WEST (REAR): REQ'D: 7.50m (24.61') PROP.: 4.76m (15.62') - VARIANCE REQUIRED
 NORTH (SIDE): REQ'D: 7.50m (24.61') PROP.: 4.28m (14.04') - VARIANCE REQUIRED
 SOUTH (SIDE): REQ'D: 7.50m (24.61') PROP.: 8.38m (27.49')

LOT COVERAGE:
 ALLOWED: 55% = 51,209.68 sq.ft. (55% X 93,253.97)
 PROPOSED:
 BUILDING 1 (INC'D AMENITY): 3,342.27 sq.ft.
 BUILDING 2 & 4: 4,203.33 sq.ft. X 2 = 8,406.66 sq.ft.
 BUILDING 3: 4,203.33 sq.ft.
 BUILDING 5, 6 & 7: 10,501.50 sq.ft. X 3 = 31,504.50 sq.ft.
 BUILDING 8: 4,108.50 sq.ft.
 BUILDING 9: 2,273.50 sq.ft.
 BUILDING 10: 2,074.88 sq.ft.
 TOTAL: 54,910.64 sq.ft. (37.44%)

DENSITY (FLOOR SPACE RATIO):
 ALLOWED: 1.0 = 93,253.97 sq.ft.
 PROPOSED:
 BUILDING 1 (EXC'D AMENITY): 5,817.74 sq.ft.
 BUILDING 2 & 4: 8,878.63 sq.ft. X 2 = 17,757.26 sq.ft.
 BUILDING 3: 8,878.63 sq.ft.
 BUILDING 5, 6 & 7: 7,513.48 sq.ft. X 3 = 22,540.44 sq.ft.
 BUILDING 8: 8,676.00 sq.ft.
 BUILDING 9: 4,991.67 sq.ft.
 BUILDING 10: 4,368.44 sq.ft.
 TOTAL: 79,028.23 sq.ft. (0.78)

BUILDING HEIGHT:
PRINCIPAL BUILDING:
 ALLOWED: 12.00m (39.37')
 PROPOSED: REFER TO BUILDING ELEV. (SHEET A-3.1 - A-3.18) FOR DETAILS
 BLDG. #3 = 12.15m - VARIANCE REQUIRED
 BLDG. #9 = 12.07m - VARIANCE REQUIRED
AMENITY BUILDING (V BLDG. #1):
 ALLOWED: 11.50m (37.73')
 PROPOSED: 11.89m (39.00') - VARIANCE REQUIRED
 REFER TO BUILDING #1 ELEV. (SHEET A-3.1 - A-3.2) FOR DETAILS

COMMON INDOOR AMENITY BUILDING:
 SEE SHEET A-1.4 FOR CALCULATIONS
OUTDOOR AMENITY AREA (BOTH COMMON & PRIVATE):
 SEE SHEET A-1.4 FOR CALCULATIONS

OFF STREET PARKING:
 (100% OF ALL REQUIRED PARKING SPACES SHALL BE LEVEL-2 ROUGHED-IN ELECTRIC VEHICLE CHARGING STATION FOR BOTH RESIDENT & VISITOR PARKING)

RESIDENT PARKING:
 REQUIRED: 2.0 SPACES PER DWELLING UNIT
 49 UNITS X 2 = 98 SPACES
 PROVIDED: 98 SPACES WITHIN BUILDING ENVELOPE
VISITOR PARKING:
 REQUIRED: 0.2 SPACE PER UNIT = 0.2 X 49 = 9.8 (10) SPACES
 PROVIDED: 10 SPACES (1 HANDICAP & 2 PARALLEL)

BICYCLE PARKING:
SHORT-TERM:
 REQUIRED: 15% OF MINIMUM NUMBER OF TOTAL MOTOR VEHICLE PARKING SPACES REQUIRED:
 15% X 108 = 16.20 (17) SPACES
 PROVIDED: 17 SPACES
LONG-TERM:
 REQUIRED: 1 SPACE PER DWELLING UNIT WITHIN GARAGE
 PROVIDED: 49 SPACES (1 SPACE PER UNIT WITHIN THE GARAGE OF EACH DWELLING UNIT)

WASTE MANAGEMENT CALCULATION:
REQUIRED:
GARBAGE: 80L/UNIT/WEEK - 49 X 80 = 3,920L. /2 = 3yd³ WEEKLY
 BIN SIZE: (3'-6" X 6'-0")
RECYCLING: 80L/UNIT/WEEK - 49 X 80 = 3,920L. = 6yd³ WEEKLY
 BIN SIZE: (6'-0" X 5'-0")
COMPOSTING: 50L/UNIT/WEEK - 49 X 50 = 2,450L. = 4yd³ WEEKLY
 BIN SIZE: (5'-10" X 4'-2")
GLASS: 10L/UNIT/WEEK = 49 X 10 = 490L.(129.44GAL.)/2 = 65GAL. WEEKLY
 TOTES: 26" X 26" D



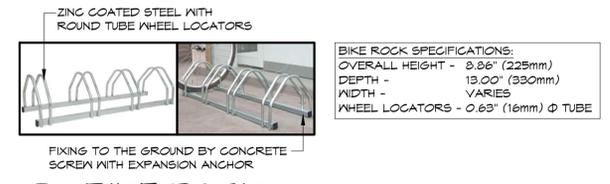
1 KEY PLAN (49 UNITS)
 SCALE: 1/32" = 1'-0"



2 PERSPECTIVE VIEWS FOR COMMUNAL WASTE ENCLOSURE
 SCALE: N. T. S.



3 PERSPECTIVE VIEWS FOR SHORT-TERM BICYCLE PARKING
 SCALE: N. T. S.



4 BIKE RACK
 SCALE: N. T. S.

LEGEND:

- COMMON DRIVEWAY / FIRE DEPARTMENT ACCESS ROUTE
- COMMON OUTDOOR AMENITY SPACE - REFER TO LANDSCAPING DRAWINGS FOR DETAILS
- PRIVATE OUTDOOR AMENITY SPACE - REFER TO LANDSCAPING DRAWINGS FOR DETAILS
- LANDSCAPING AREA (NOT COUNTED AS OUTDOOR AMENITY AREA CALC.) - REFER TO LANDSCAPING DRAWINGS FOR DETAILS
- PROPOSED 21' W. X 30' D. TOWNHOUSE UNIT - TOTAL 22 UNITS
- PROPOSED 26' W. X 30' D. TOWNHOUSE UNIT - TOTAL 3 UNIT
- PROPOSED 16' W. X 41' D. TOWNHOUSE UNIT - TOTAL 3 UNITS
- PROPOSED 20' W. X 41' D. TOWNHOUSE UNIT - TOTAL 1 UNITS
- PROPOSED 20' W. X 32' D. TOWNHOUSE UNIT - TOTAL 15 UNITS
- PROPOSED AMENITY BUILDING
- BUILDING NUMBER
- PUBLIC PASSAGEWAY
- PRIVATE WALKWAY FOR EACH UNIT
- PRIVATE DRIVEWAY FOR EACH UNIT

PROPOSED DEVELOPMENT
 9099, 9107 & 9111 CEDAR STREET MISSION, B.C.

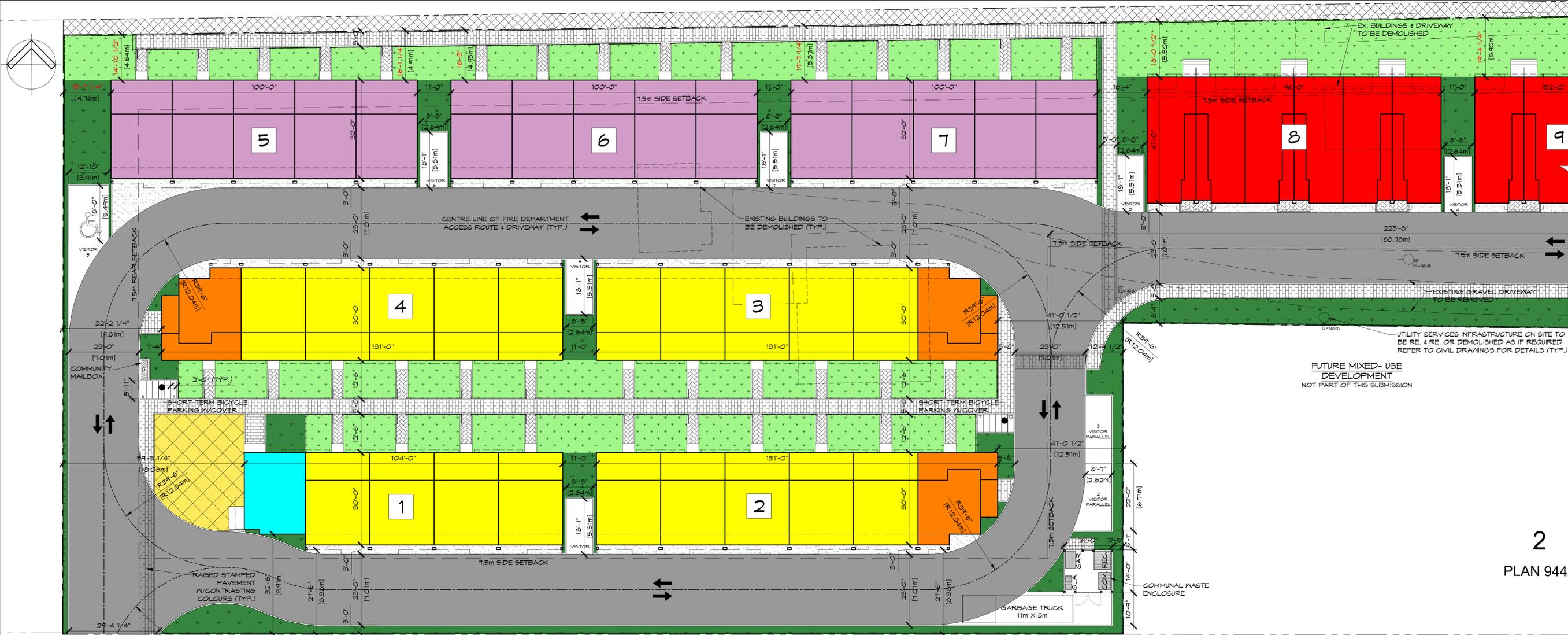
KEY PLAN & SITE RECONCILIATION
 A-1.1

Project: 221042
 Date: June 2024
 Scale: AS NOTED
 Drawn: A.W.
 Checked: D.H.
 Street no. 221042

TRIO Architecture Inc.
 Unit B 33623 Wildwood Drive
 Abbotsford, BC V2S 1S2
 info@trioarchitecture.ca
 604.854.3740

Architectural Seal

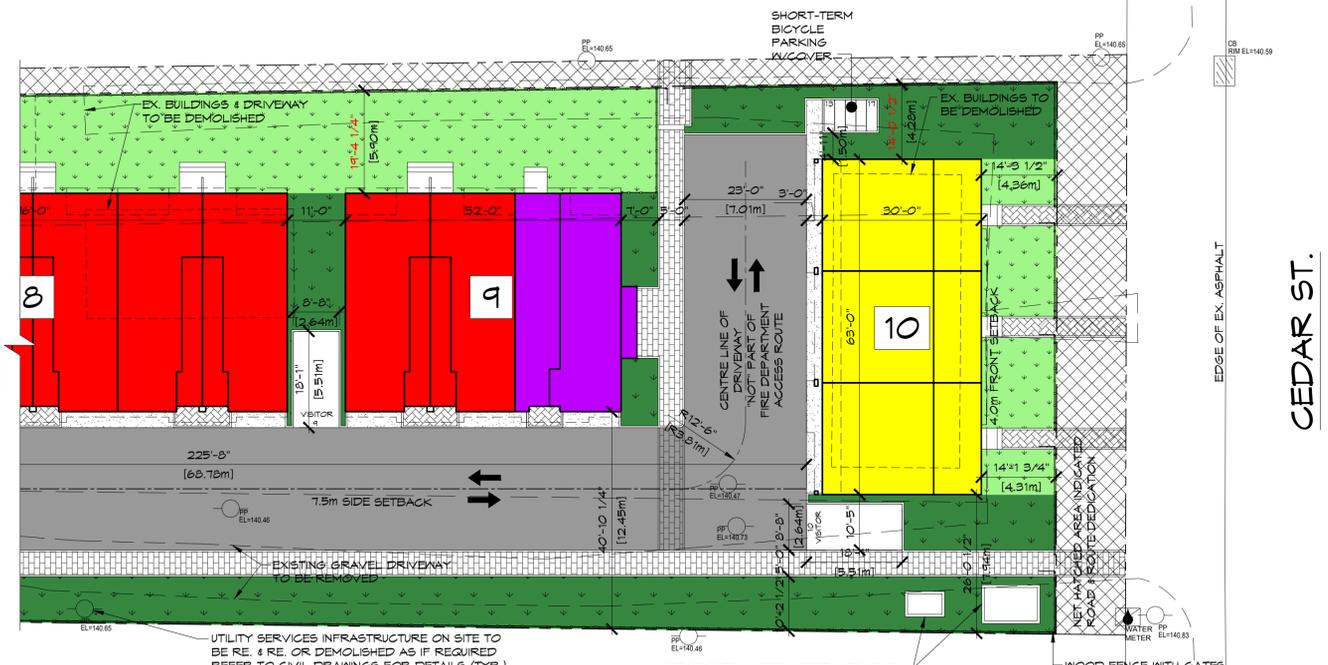
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1 SITE PLAN - WEST
SCALE: 1/16" = 1'-0"

- LEGEND:**
- COMMON DRIVEWAY / FIRE DEPARTMENT ACCESS ROUTE
 - COMMON OUTDOOR AMENITY SPACE - REFER TO LANDSCAPING DRAWINGS FOR DETAILS
 - PRIVATE OUTDOOR AMENITY SPACE - REFER TO LANDSCAPING DRAWINGS FOR DETAILS
 - LANDSCAPING AREA (NOT COUNTED AS OUTDOOR AMENITY AREA CALC.) - REFER TO LANDSCAPING DRAWINGS FOR DETAILS
 - PROPOSED 21' W. X 30' D. TOWNHOUSE UNIT - TOTAL 22 UNITS
 - PROPOSED 26' W. X 30' D. TOWNHOUSE UNIT - TOTAL 3 UNIT
 - PROPOSED 16' W. X 41' D. TOWNHOUSE UNIT - TOTAL 3 UNITS
 - PROPOSED 20' W. X 41' D. TOWNHOUSE UNIT - TOTAL 1 UNITS
 - PROPOSED 20' W. X 32' D. TOWNHOUSE UNIT - TOTAL 15 UNITS
 - PROPOSED AMENITY BUILDING
 - 2** BUILDING NUMBER
 - PUBLIC PASSAGEWAY
 - PRIVATE WALKWAY FOR EACH UNIT
 - PRIVATE DRIVEWAY FOR EACH UNIT

E PLAN 23166



2 SITE PLAN - EAST
SCALE: 1/16" = 1'-0"

2 PLAN 9442

<p>TRIOARCHITECTURE.CA</p> <p>TRIO Architecture Inc. Unit B 33623 Wildwood Drive Abbotsford, BC V2S 1S2 info@trioarchitecture.ca 604-854-3740</p>													
<p>PROPOSED DEVELOPMENT 9099, 9107 & 9111 CEDAR STREET MISSION, B.C.</p>	<p>SITE PLAN</p>												
<p>A-1.2</p>	<p>DATE: June 2024 SCALE: AS NOTED DRAWN: A.W. CHECKED: D.H. PROJECT NO.: 221042 ISSUE NO.: A-1.2</p>												
<p>ISSUE TABLE</p> <table border="1"> <tr> <th>No.</th> <th>Date (dd/mm/yyyy)</th> <th>Description</th> </tr> <tr> <td>1</td> <td>26/09/2022</td> <td>ISSUED FOR DEVELOPMENT PERMIT</td> </tr> </table>	No.	Date (dd/mm/yyyy)	Description	1	26/09/2022	ISSUED FOR DEVELOPMENT PERMIT	<p>REVISIONS</p> <table border="1"> <tr> <th>No.</th> <th>Date</th> <th>Description</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	No.	Date	Description			
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No.	Date	Description											
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1 SITE GRADING PLAN (WEST)

SCALE: 1/16" = 1'-0"

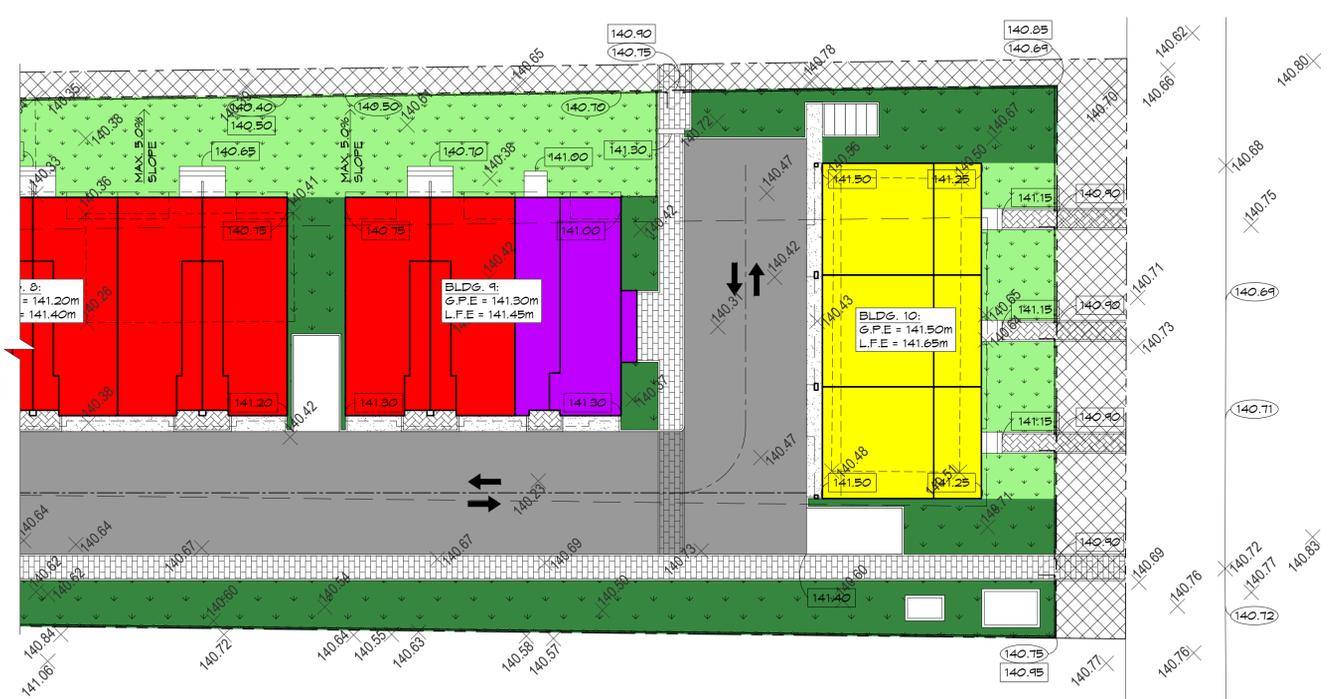
NOTES:

- REFER TO CIVIL DRAWINGS FOR DRIVEWAY ELEVATION & SLOPE, SURFACE WATER FLOW DIRECTION, AND RETAINING WALL ELEVATIONS. (U.N.O.)
- LOT GRADING PLAN SHALL BE READ IN CONJUNCTION WITH ARCHITECTURAL AND CIVIL DRAWINGS. REPORT ANY CONFLICTS TO THE ARCHITECT & ENGINEER WITH WRITTEN INSTRUCTIONS.
- ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND CIVIL LOT GRADING PLAN, THE CIVIL LOT GRADING PLAN SHALL HAVE PRECEDENCE OVER ARCHITECTURAL LOT GRADING PLAN WITH REFERENCE TO LOT GRADING, DRIVEWAY ELEVATION & SLOPE, SURFACE WATER FLOW DIRECTION, AND RETAINING WALL ELEVATIONS ETC.

LEGEND:

	PROPOSED GRADE
	EXISTING GRADE
	COMMON DRIVEWAY / FIRE DEPARTMENT ACCESS ROUTE
	COMMON OUTDOOR AMENITY SPACE
	PRIVATE OUTDOOR AMENITY SPACE
	LANDSCAPING AREA (NOT COUNTED AS OUTDOOR AMENITY AREA CALC.)
	PROPOSED 21' X 30' D. TOWNHOUSE UNIT
	PROPOSED 26' X 30' D. TOWNHOUSE UNIT
	PROPOSED 16' X 41' D. TOWNHOUSE UNIT
	PROPOSED 20' X 41' D. TOWNHOUSE UNIT
	PROPOSED 20' X 32' D. TOWNHOUSE UNIT
	PROPOSED AMENITY BUILDING
	PUBLIC PASSAGEWAY
	PRIVATE WALKWAY FOR EACH UNIT
	PRIVATE DRIVEWAY FOR EACH UNIT

E PLAN 23166



2 SITE GRADING PLAN (EAST)

SCALE: 1/16" = 1'-0"

2 PLAN 9442

ISSUE TABLE		REVISIONS	
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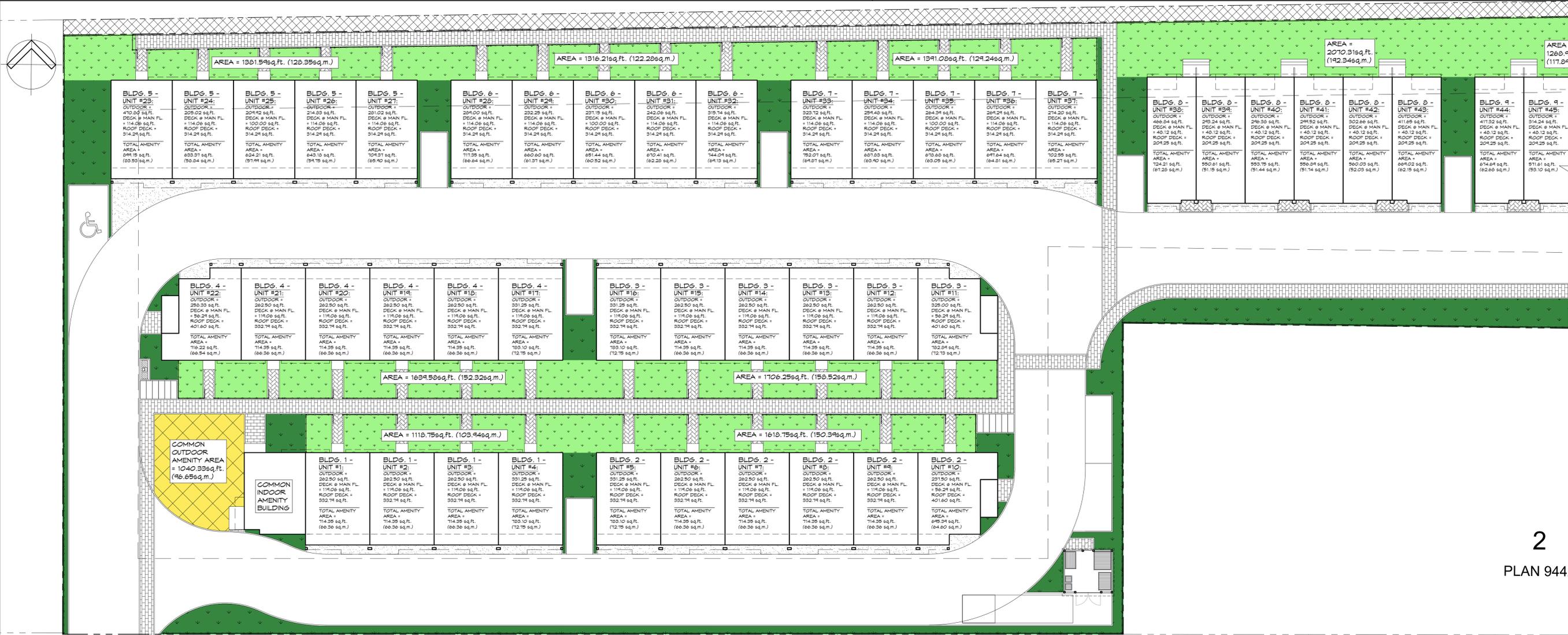
PROPOSED DEVELOPMENT
9099, 9107 & 9111 CEDAR STREET
MISSION, B.C.

SITE GRADING PLAN

A-1.3

project: 221042
date: June 2024
scale: AS NOTED
drawn: A.W.
checked: D.H.
street no. 221042

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2
PLAN 9442

1
A-1.4 AMENITY SPACE RECONCILIATION (WEST)
SCALE: 1/16" = 1'-0"

AMENITY SPACE RECONCILIATION:

COMMON INDOOR AMENITY BUILDING:
 REQUIRED: DEVELOPMENT CONTAIN 25 DWELLING UNITS OR MORE SHALL PROVIDE @ A RATE OF AT LEAST 30.0 sq.ft. (2.8 sq.m.) PER UNIT.
 49 X 30 = 1,470.00 sq.ft. (136.51 sq.ft.)
 PROPOSED: 1,646.26 sq.ft. (152.94 sq.m.)

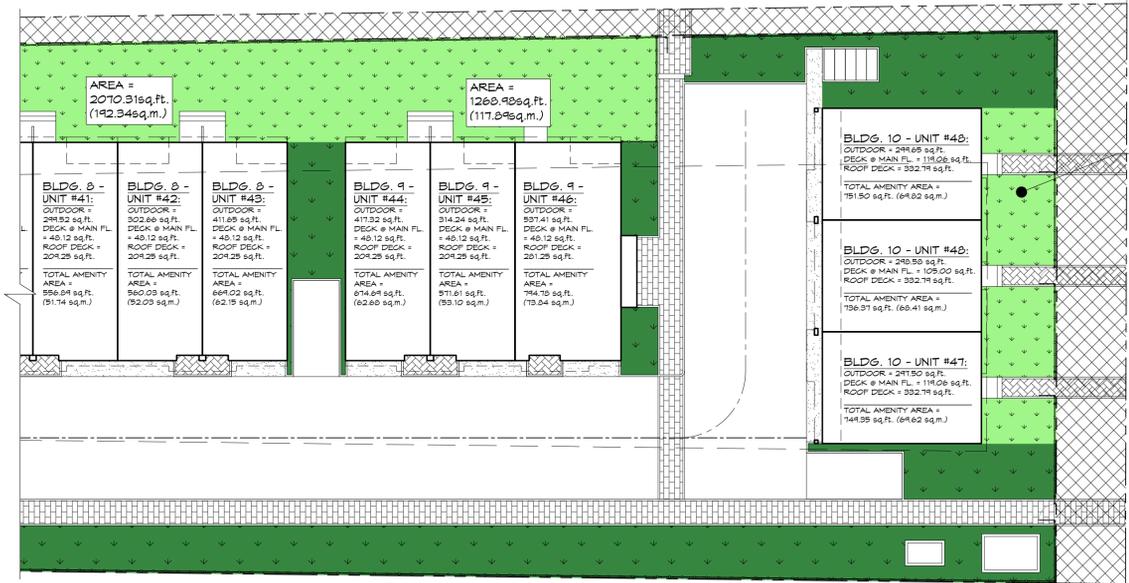
COMMON OUTDOOR AMENITY SPACE:
 REQUIRED: DEVELOPMENT CONTAIN 25 DWELLING UNITS OR MORE SHALL PROVIDE MINIMUM 100.00 sq.m. (1076.00 sq.ft.) OF COMMON OUTDOOR SPACE.
 PROPOSED: 1,249.59 sq.ft. (116.00 sq.m.)
 - INCLUDING 1040.33 sq.ft. @ GROUND LEVEL NEXT TO AMENITY BUILDING & 209.26 sq.ft. DECK AREA @ AMENITY BUILDING ROOF TOP

PRIVATE OUTDOOR AMENITY SPACE:
 REQUIRED: MIN. 20.00 sq.m. (215.30 sq.ft.) PER DWELLING UNIT, AND A COMBINED AVERAGE OF 30.00 sq.m. (322.90 sq.ft.) PER DWELLING UNIT WITHIN A DEVELOPMENT AS A WHOLE.
 49 X 30 = 1,470.00 sq.ft. (136.51 sq.ft.)
 PROPOSED: 34,493.00 sq.ft. (3204.51 sq.m.)
 - INCLUDED DECK @ MAIN FL. & ROOF DECK AT EVERY UNITS (TOTAL DECK AREA = 20,085.77 sq.ft. = 1,866.03 sq.m.)
 - 34,493.00 / 49 = 703.94 sq.ft. (65.40 sq.m.)
 THEREFORE, AVERAGE 65.40 sq.m. OF OUTDOOR AMENITY AREA IS ALLOCATED TO EACH UNIT.

LEGEND:

	PRIVATE OUTDOOR AMENITY AREA & LANDSCAPING AREA - REFER TO LANDSCAPING DRAWINGS FOR DETAILS
	LANDSCAPING AREA (NOT COUNTED AS OUTDOOR AMENITY AREA CALCULATION) - REFER TO LANDSCAPING DRAWINGS FOR DETAILS
	PUBLIC PASSAGEWAY
	PRIVATE WALKWAY FOR EACH UNIT
	PRIVATE DRIVEWAY FOR EACH UNIT

E
PLAN 23166



2
A-1.4 AMENITY SPACE RECONCILIATION (EAST)
SCALE: 1/16" = 1'-0"

EDGE OF EX. ASPHALT
LAMINMAN AVE.

EDGE OF EX. ASPHALT
CEDAR ST.

ISSUE TABLE

No.	Date (dd/mm/yyyy)	Description
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REVISIONS

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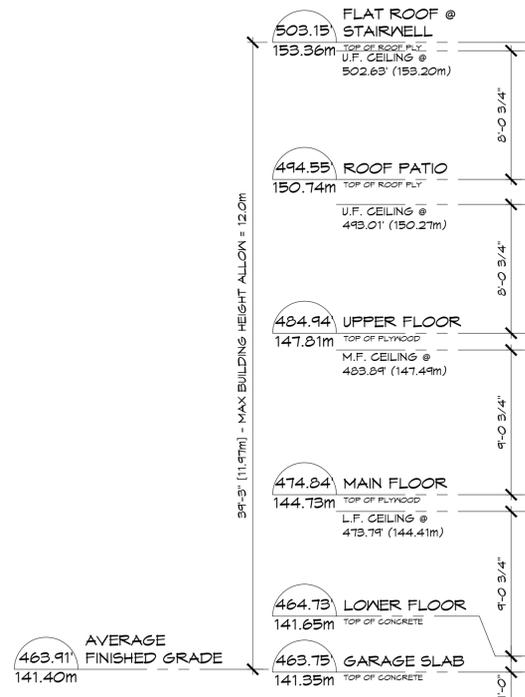
PROPOSED DEVELOPMENT
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 MISSION, B.C.

AMENITY SPACE RECONCILIATION

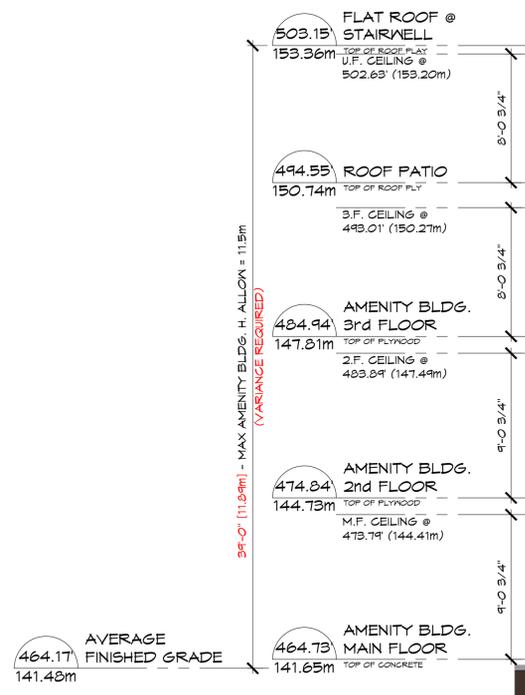
project: June 2024
 scale: AS NOTED
 draw: A.W.
 checked: D.H.
 project no: 221042
 sheet no: A-1.4

Information Package - Page 32

BUILDING #1



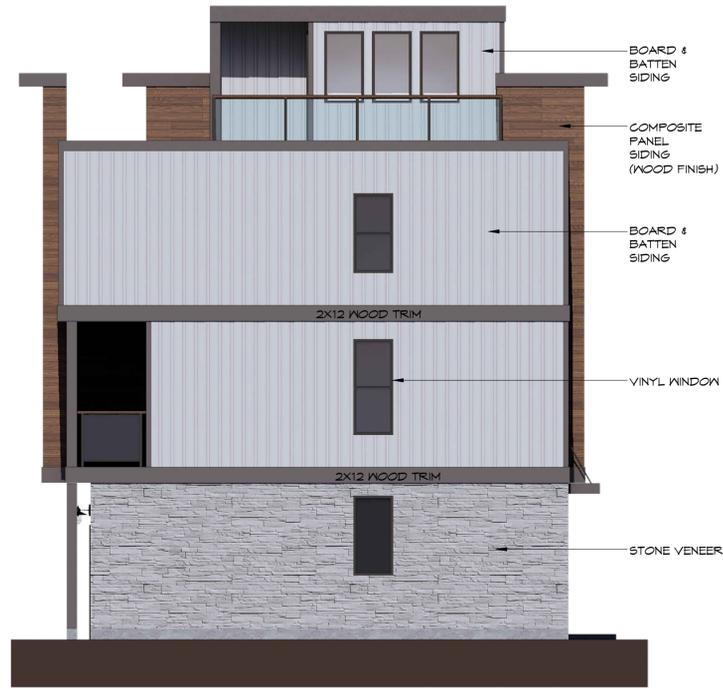
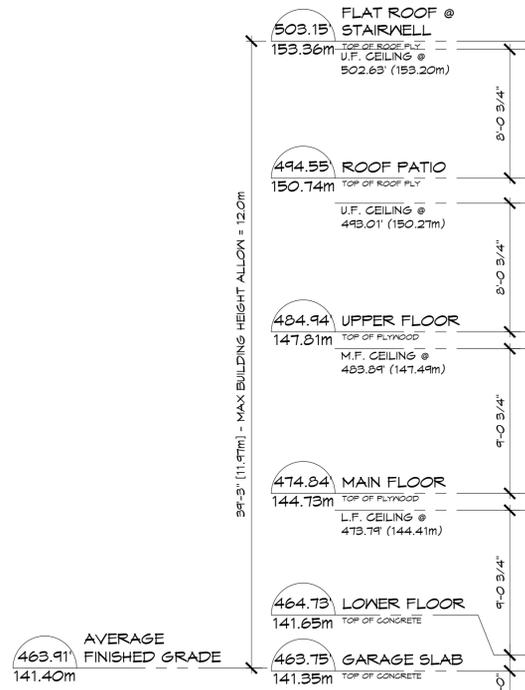
1 BUILDING #1 - FRONT ELEVATION
SCALE: 3/16" = 1'-0"



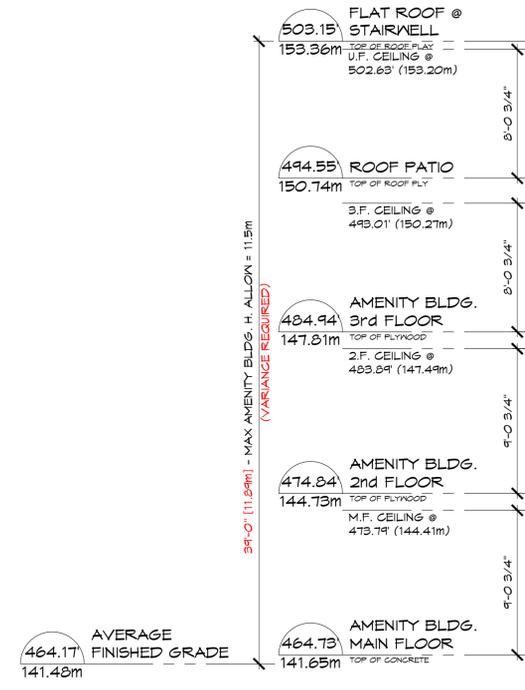
2 BUILDING #1 - REAR ELEVATION
SCALE: 3/16" = 1'-0"

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By D.H.		By D.H.	
Description ISSUED FOR DEVELOPMENT PERMIT		Description	
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Architectural Seal			
PROJECT: PROPOSED DEVELOPMENT 9099, 9107 & 9111 CEDAR STREET MISSION, B.C.			
DRAWING: BUILDING #1 - FRONT & REAR ELEVATION			
DATE: June 2024 SCALE: AS NOTED DRAWN: S.K. / A.W. CHECKED: D.H. PROJECT NO.: 221042 SHEET NO.: A-3.1			

BUILDING #1



1 BUILDING #1 - LEFT ELEVATION
A-3.2 SCALE: 3/16" = 1'-0"



2 BUILDING #1 - RIGHT ELEVATION
A-3.2 SCALE: 3/16" = 1'-0"

ISSUE TABLE		REVISIONS	
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project: **PROPOSED DEVELOPMENT**
 9099, 9107 & 9111 CEDAR STREET
 MISSION, B.C.

drawing: **BUILDING #1- LEFT & RIGHT ELEVATION**

date: June 2024
 scale: AS NOTED
 drawn: S.K.
 checked: D.H.
 project no. 221042
 street no. A-3.2

BUILDING #2



1 BUILDING #2 FRONT ELEVATION
SCALE: 3/16" = 1'-0"



2 BUILDING #2 - REAR ELEVATION
SCALE: 3/16" = 1'-0"

ISSUE TABLE	
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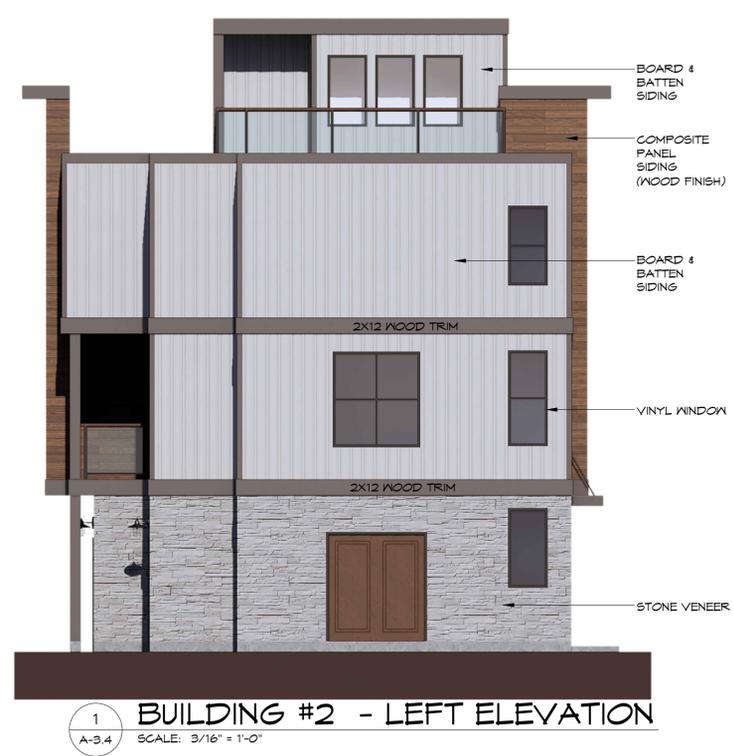
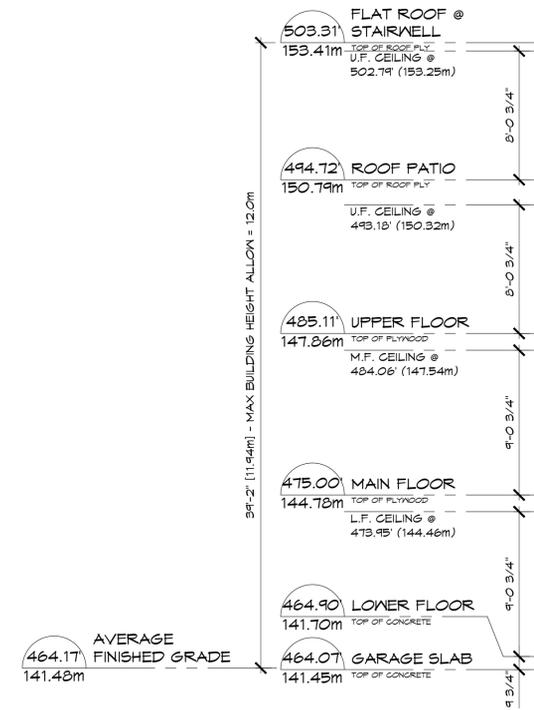
PROPOSED DEVELOPMENT
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 MISSION, B.C.

BUILDING #2
FRONT & REAR ELEVATION

Date:	June 2024
Scale:	AS NOTED
Drawn:	S.K. / A.W.
Checked:	D.H.
Project no.:	221042
Sheet no.:	A-3.3

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BUILDING #2



<p>DATE: June 2024 SCALE: AS NOTED DRAWN: S.K. / A.W. CHECKED: D.H. PROJECT NO: 221042 SHEET NO: A-3.4</p>		<p>PROJECT: PROPOSED DEVELOPMENT 9099, 9107 & 9111 CEDAR STREET MISSION, B.C.</p>		<p>ARCHITECTURAL SEAL</p>																	
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No.	Date (dd/mm/yyyy)	By	Description																		
1	26/08/2022	D.H.	ISSUED FOR DEVELOPMENT PERMIT																		
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<p>PROJECT: PROPOSED DEVELOPMENT 9099, 9107 & 9111 CEDAR STREET MISSION, B.C.</p>		<p>BUILDING # 2 LEFT & RIGHT ELEVATION</p>		<p>DATE: June 19, 2024 2:27:31 AM</p>																	

BUILDING #3



1 BUILDING #3 - FRONT ELEVATION
SCALE: 3/16" = 1'-0"



2 BUILDING #3 - REAR ELEVATION
SCALE: 3/16" = 1'-0"

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PROPOSED DEVELOPMENT
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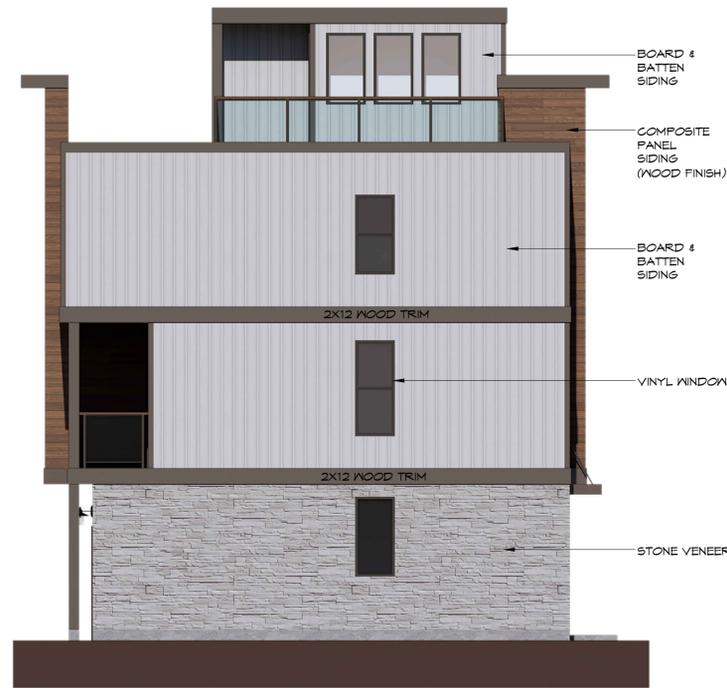
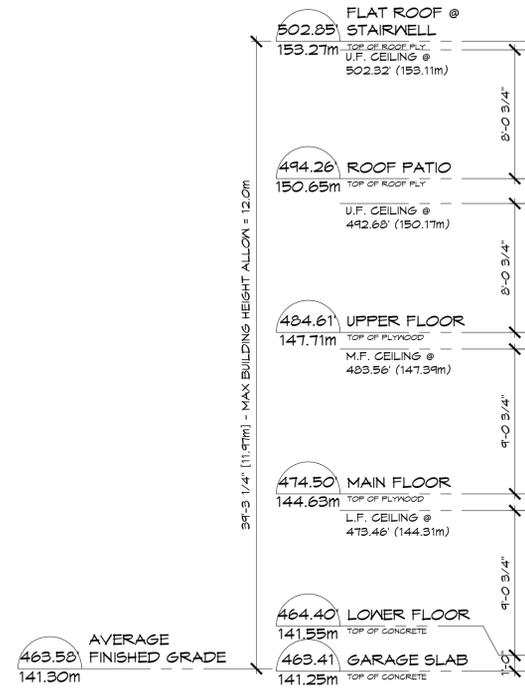
BUILDING #3 - FRONT & REAR ELEVATION

A-3.5

Project: 221042
 Date: June 2024
 Scale: AS NOTED
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BUILDING #3



1 BUILDING #3 - LEFT ELEVATION
A-3.6 SCALE: 3/16" = 1'-0"



2 BUILDING #3 - RIGHT ELEVATION
A-3.6 SCALE: 3/16" = 1'-0"

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project: **PROPOSED DEVELOPMENT**
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drawing: **BUILDING # 3 - LEFT & RIGHT ELEVATION**

date: June 2024
 scale: AS NOTED
 drawn: S.K. / A.W.
 checked: D.H.
 project no: 221042
 sheet no: **A-3.6**

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BUILDING #4



1 BUILDING #4 - FRONT ELEVATION
SCALE: 3/16" = 1'-0"



2 BUILDING #4 - REAR ELEVATION
SCALE: 3/16" = 1'-0"

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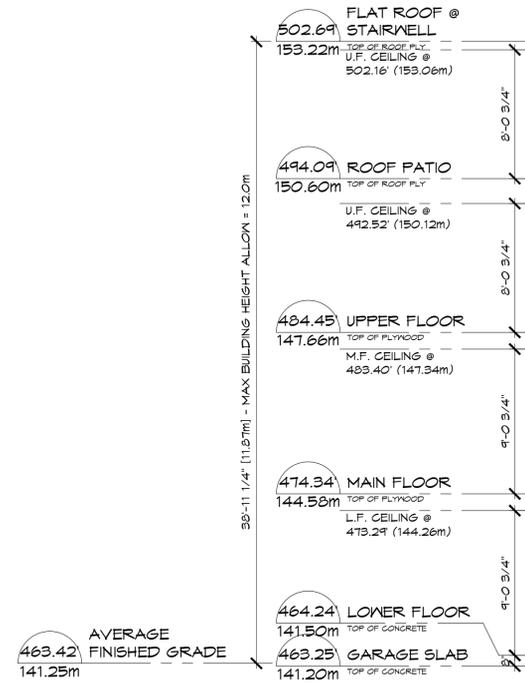
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BUILDING #4 - FRONT & REAR ELEVATION

Date:	June 2024
Scale:	AS NOTED
Drawn:	S.K. / A.W.
Checked:	D.H.
Project no.:	221042
Sheet no.:	A-3.7

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BUILDING #4



1 BUILDING #4 - LEFT ELEVATION
A-3.8 SCALE: 3/16" = 1'-0"



2 BUILDING #4 - RIGHT ELEVATION
A-3.8 SCALE: 3/16" = 1'-0"

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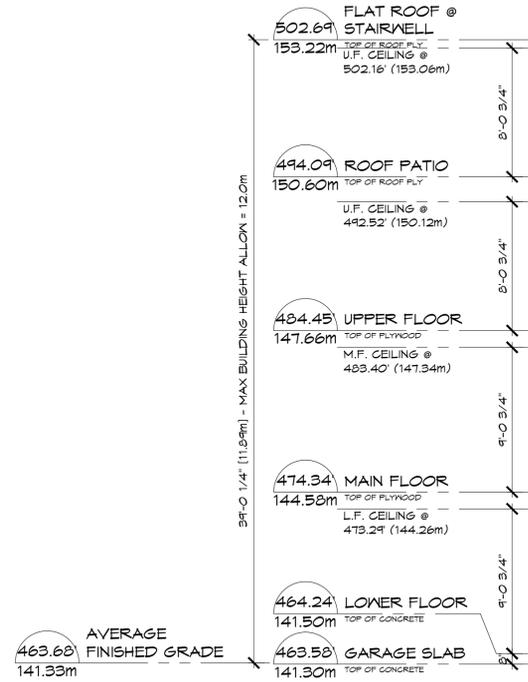
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 9099, 9107 & 9111 CEDAR STREET
 MISSION, B.C.

drawing: **BUILDING # 4 - LEFT & RIGHT ELEVATION**

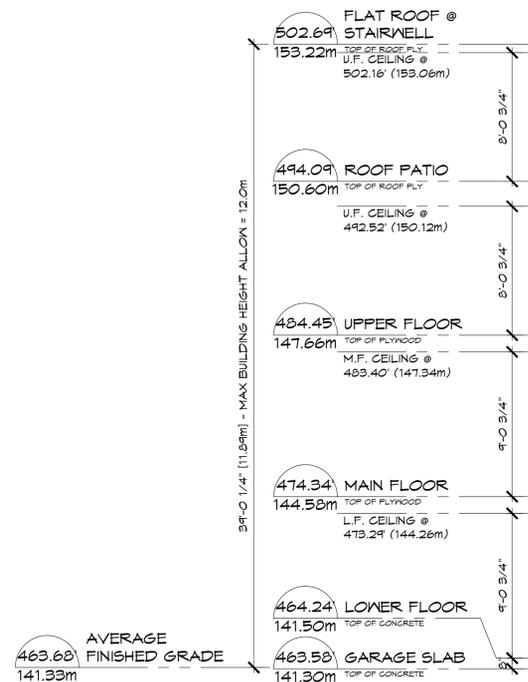
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BUILDING #5



1 BUILDING #5 - FRONT ELEVATION
SCALE: 3/16" = 1'-0"



2 BUILDING #5 - REAR ELEVATION
SCALE: 3/16" = 1'-0"

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PROPOSED DEVELOPMENT
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BUILDING # 5 - FRONT & REAR ELEVATION

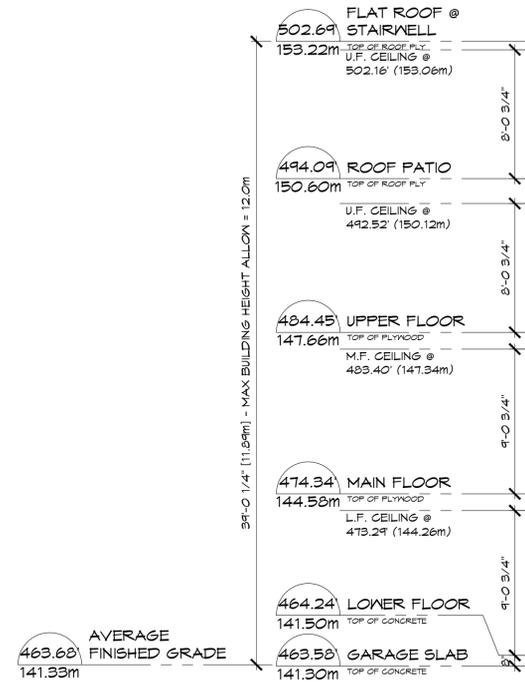
A-3.9

Project: 221042
 Date: June 2024
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BUILDING #5



1 BUILDING #5 - LEFT ELEVATION
A-3.10 SCALE: 3/16" = 1'-0"



2 BUILDING #5 - RIGHT ELEVATION
A-3.10 SCALE: 3/16" = 1'-0"

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project: **PROPOSED DEVELOPMENT**
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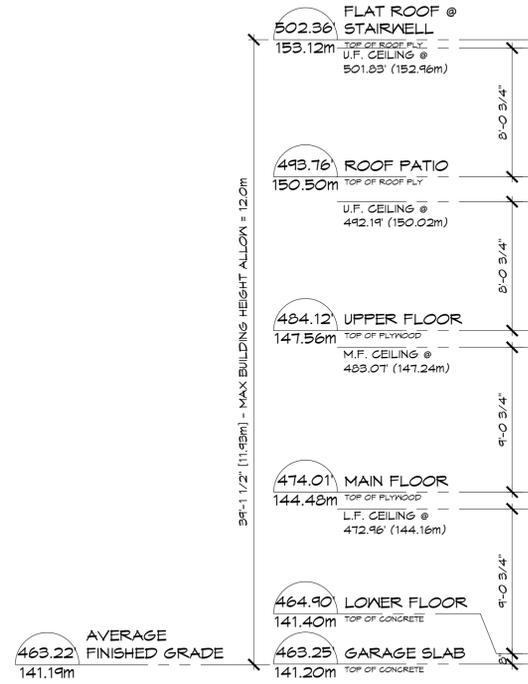
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date: June 2024
 scale: AS NOTED
 drawn: S.K. / A.W.
 checked: D.H.
 project no: 221042
 sheet no: **A-3.10**

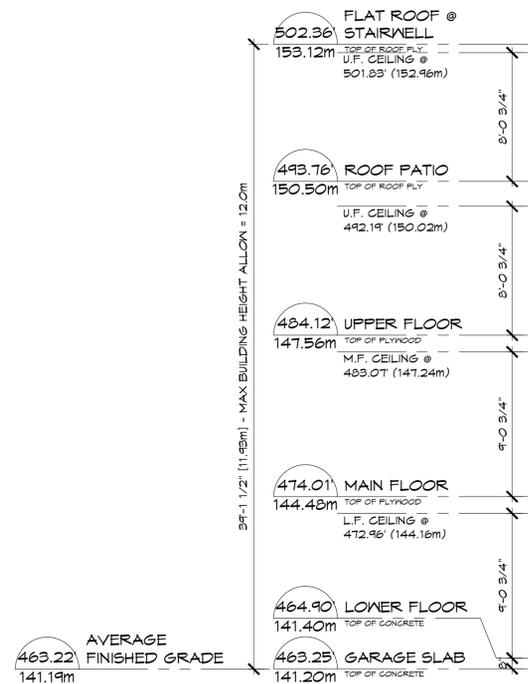
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BUILDING #6



1 BUILDING #6 - FRONT ELEVATION
SCALE: 3/16" = 1'-0"



2 BUILDING #6 - REAR ELEVATION
SCALE: 3/16" = 1'-0"

ISSUE TABLE	No.	Date (dd/mm/yyyy)	Description
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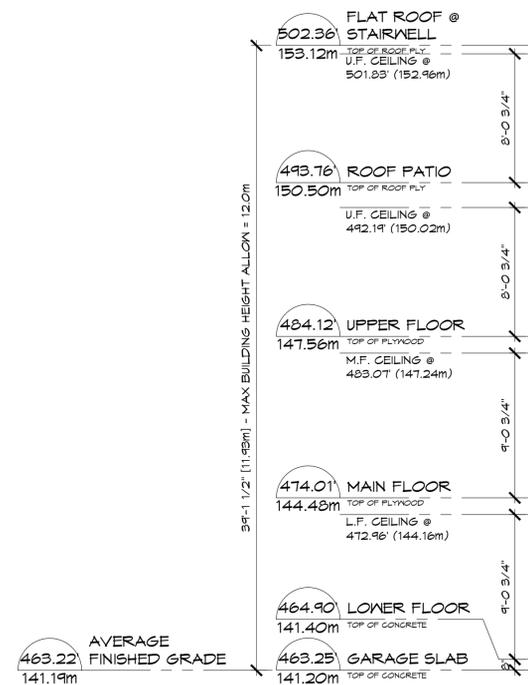
project: **PROPOSED DEVELOPMENT**
 9099, 9107 & 9111 CEDAR STREET
 MISSION, B.C.

drawing: **BUILDING # 6 - FRONT & REAR ELEVATION**

date: June 2024
 scale: AS NOTED
 drawn: S.K. / A.W.
 checked: D.H.
 project no: 221042
 sheet no: **A-3.11**

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BUILDING #6



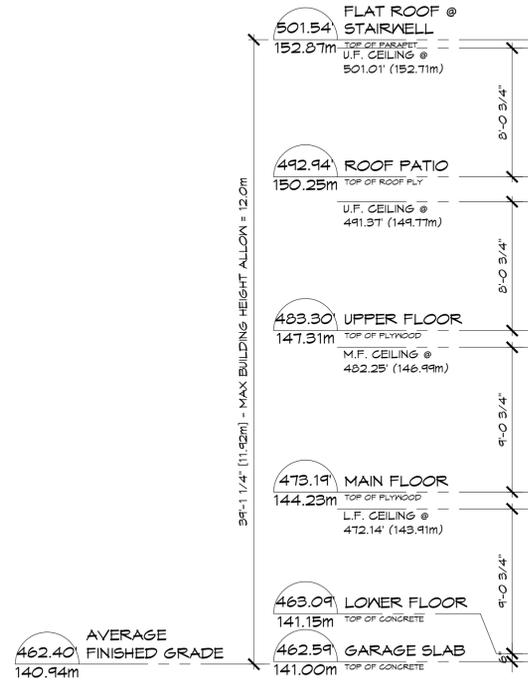
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 A-3.12 SCALE: 3/16" = 1'-0"



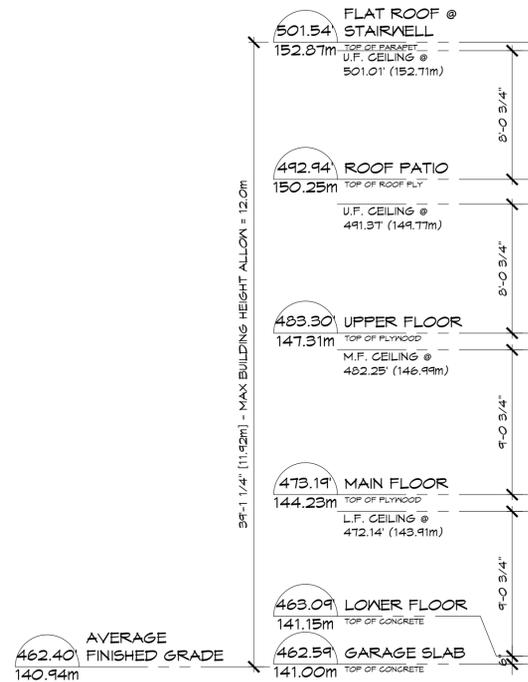
2 BUILDING #6 - RIGHT ELEVATION
 A-3.12 SCALE: 3/16" = 1'-0"

Date: June 2024 Scale: AS NOTED Drawn: S.K. / A.W. Checked: D.H. Project no.: 221042 Sheet no.: A-3.12		Project: PROPOSED DEVELOPMENT 9099, 9107 & 9111 CEDAR STREET MISSION, B.C. Drawing: BUILDING # 6 - LEFT & RIGHT ELEVATION		Project: TRIOARCHITECTURE.CA TRIO Architecture Inc. Unit B 33523 Wildwood Drive Abbotsford, BC V2S 1S2 info@trioarchitecture.ca 604.854.3740	
Date: 26/08/2022 By: D.H. Description: ISSUED FOR DEVELOPMENT PERMIT		No.: 1 Description:		ALL DIMENSIONS & CONDITIONS MUST BE VERIFIED ON THE SITE. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF TRIO ARCHITECTURE INC. UNAUTHORIZED REPRODUCTIONS ARE PROHIBITED.	

BUILDING #7



1 BUILDING #7 - FRONT ELEVATION
A-3.13 SCALE: 3/16" = 1'-0"



2 BUILDING #7 - REAR ELEVATION
A-3.13 SCALE: 3/16" = 1'-0"

ISSUE TABLE	No.	Date (dd/mm/yyyy)	Description
	1	26/09/2022	ISSUED FOR DEVELOPMENT PERMIT

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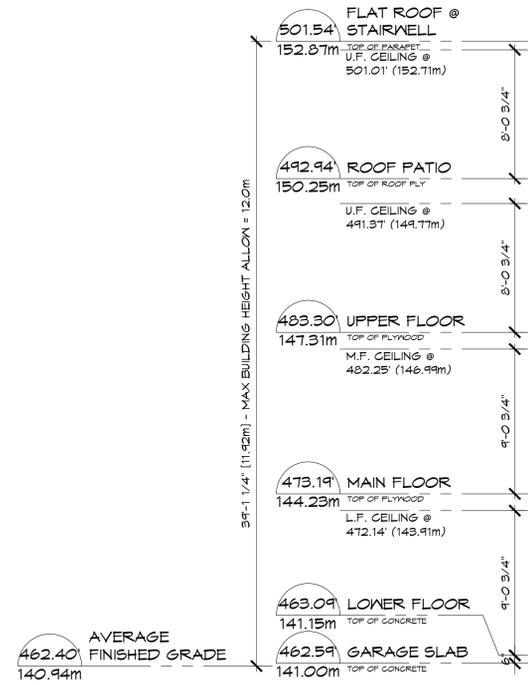
Architectural Seal

project: **PROPOSED DEVELOPMENT**
9099, 9107 & 9111 CEDAR STREET
MISSION, B.C.

drawing: **BUILDING #7 - FRONT & REAR ELEVATION**

date: June 2024
scale: AS NOTED
drawn: S.K. / A.W.
checked: D.H.
project no: 221042
sheet no: **A-3.13**

BUILDING #7



1 BUILDING #7 - LEFT ELEVATION
A-3.14 SCALE: 3/16" = 1'-0"



2 BUILDING #7 - RIGHT ELEVATION
A-3.14 SCALE: 3/16" = 1'-0"

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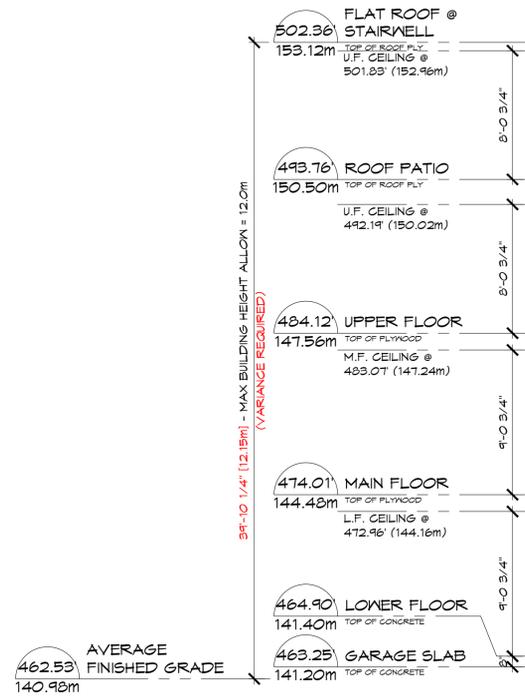
project: **PROPOSED DEVELOPMENT**
 9099, 9107 & 9111 CEDAR STREET
 MISSION, B.C.

drawing: **BUILDING # 7 - LEFT & RIGHT ELEVATION**

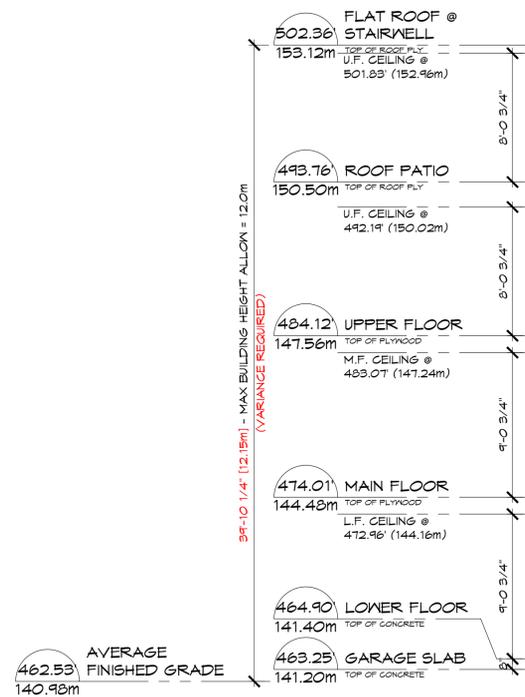
date: June 2024
 scale: AS NOTED
 drawn: S.K. / A.W.
 checked: D.H.
 project no: 221042
 sheet no: **A-3.14**

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BUILDING #8



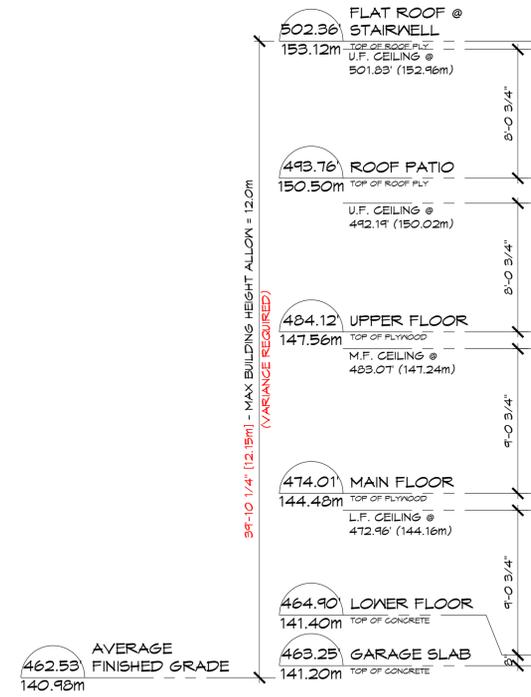
1 BUILDING #8 - FRONT ELEVATION
A-3.15 SCALE: 3/16" = 1'-0"



2 BUILDING #8 - REAR ELEVATION
A-3.15 SCALE: 3/16" = 1'-0"

ISSUE TABLE No. Description 1 ISSUED FOR DEVELOPMENT PERMIT		REVISIONS No. Description	
Date (dd/mm/yyyy) 26/09/2022		Date 26/09/2022	
By D.H.		By D.H.	
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TRIO Architecture Inc. Unit B 33523 Wildwood Drive Abbotsford, BC V2S 1S2 info@trioarchitecture.ca 604.854.3740			
PROJECT: PROPOSED DEVELOPMENT 9099, 9107 & 9111 CEDAR STREET MISSION, B.C.			
DRAWING: BUILDING #8 - FRONT & REAR ELEVATION			
PROJECT NO. 221042 SHEET NO. A-3.15			

BUILDING #8



1 BUILDING #8 - LEFT ELEVATION
A-3.16 SCALE: 3/16" = 1'-0"



2 BUILDING #8 - RIGHT ELEVATION
A-3.16 SCALE: 3/16" = 1'-0"

Date: June 2024	Project: PROPOSED DEVELOPMENT
Scale: AS NOTED	9099, 9107 & 9111 CEDAR STREET
Drawn: S.K. / A.W.	MISSION, B.C.
Checked: D.H.	BUILDING # 8 -
Project no: 221042	LEFT & RIGHT ELEVATION
Sheet no: A-3.16	

ISSUE TABLE	
No.	Description
1	ISSUED FOR DEVELOPMENT PERMIT

REVISIONS		
No.	Date	Description

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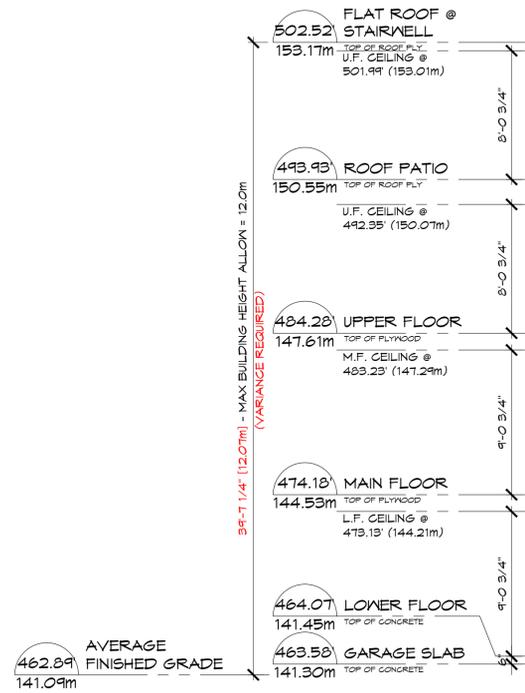
TRIO Architecture Inc.
 info@trioarchitecture.ca
 604.654.3740
 Unit B 33623 Wildwood Drive
 Abbotsford, BC V2S 1S2

Architectural Seal

Project: PROPOSED DEVELOPMENT
 9099, 9107 & 9111 Cedar Street [221042 - A-3.16 - A-3.16] - Bldg 8 Elevations.dwg - plotted by Lizeth @ June 19, 2024 9:28:16 AM

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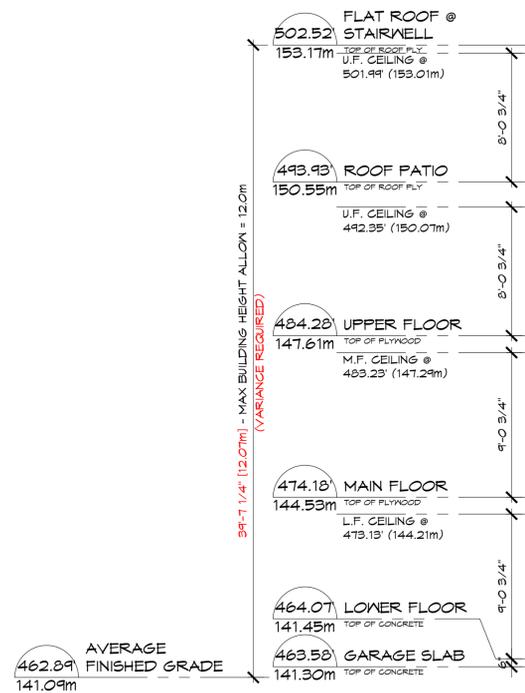
BUILDING #9



1 BUILDING #9 - FRONT ELEVATION
A-3.17 SCALE: 3/16" = 1'-0"



2 BUILDING #9 - LEFT ELEVATION
A-3.17 SCALE: 3/16" = 1'-0"



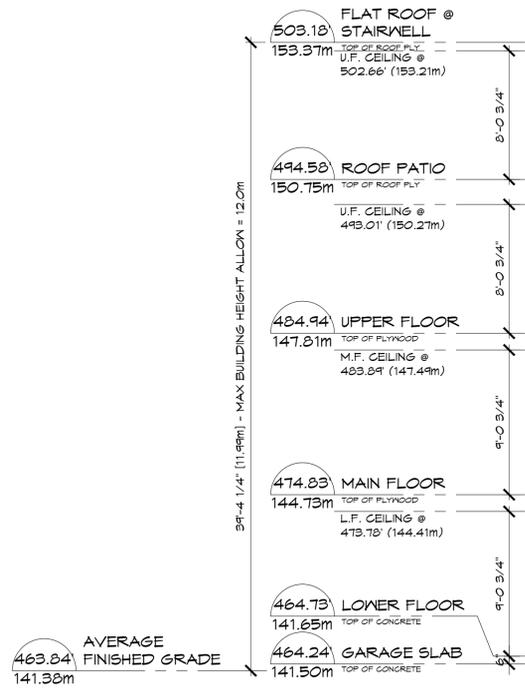
3 BUILDING #9 - REAR ELEVATION
A-3.17 SCALE: 3/16" = 1'-0"



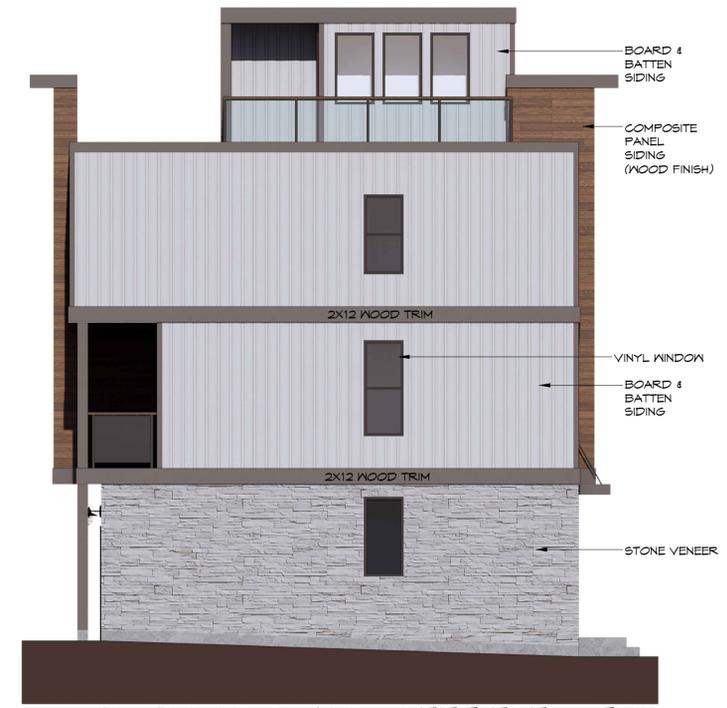
4 BUILDING #9 - RIGHT ELEVATION
A-3.17 SCALE: 3/16" = 1'-0"

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<p>ISSUE TABLE</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Date (dd/mm/yyyy)</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>26/08/2022</td> <td>ISSUED FOR DEVELOPMENT PERMIT</td> </tr> </tbody> </table>	No.	Date (dd/mm/yyyy)	Description	1	26/08/2022	ISSUED FOR DEVELOPMENT PERMIT	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> </tbody> </table>	No.	Date	Description
No.	Date (dd/mm/yyyy)	Description								
1	26/08/2022	ISSUED FOR DEVELOPMENT PERMIT								
No.	Date	Description								
<p>TRIOARCHITECTURE.CA</p>										
<p>TRIO Architecture Inc. Unit B 33523 Wildwood Drive Abbotsford, BC V2S 1S2 info@trioarchitecture.ca 604-854-3740</p>										
<p>Architectural Seal</p>										
<p>PROJECT: PROPOSED DEVELOPMENT 9099, 9107 & 9111 CEDAR STREET MISSION, B.C.</p>										
<p>DRAWING: BUILDING # 9 - ELEVATIONS</p>										
<p>DATE: June 2024 SCALE: AS NOTED DRAWN: S.K. / A.W. CHECKED: D.H. PROJECT NO: 221042 SHEET NO:</p>	<p>A-3.17</p>									

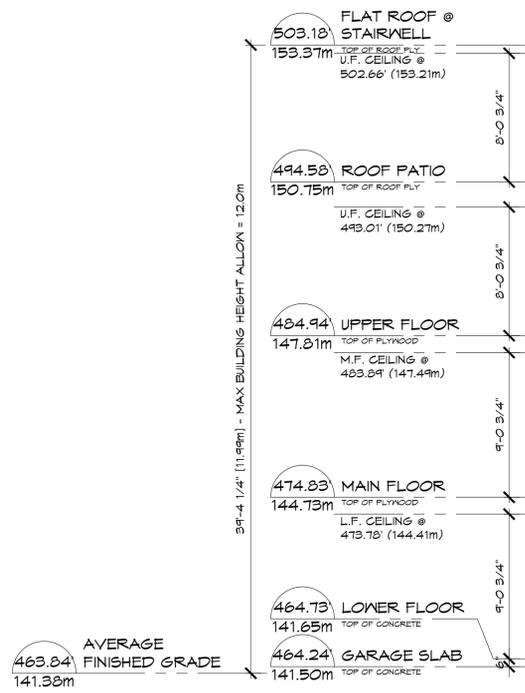
BUILDING #10



1 BUILDING #10 - FRONT ELEVATION
A-3.18 SCALE: 3/16" = 1'-0"



2 BUILDING #10 - LEFT ELEVATION
A-3.18 SCALE: 3/16" = 1'-0"



3 BUILDING #10 - REAR ELEVATION
A-3.18 SCALE: 3/16" = 1'-0"



4 BUILDING #10 - RIGHT ELEVATION
A-3.18 SCALE: 3/16" = 1'-0"

ISSUE TABLE		REVISIONS	
No.	Description	No.	Description
1	ISSUED FOR DEVELOPMENT PERMIT		

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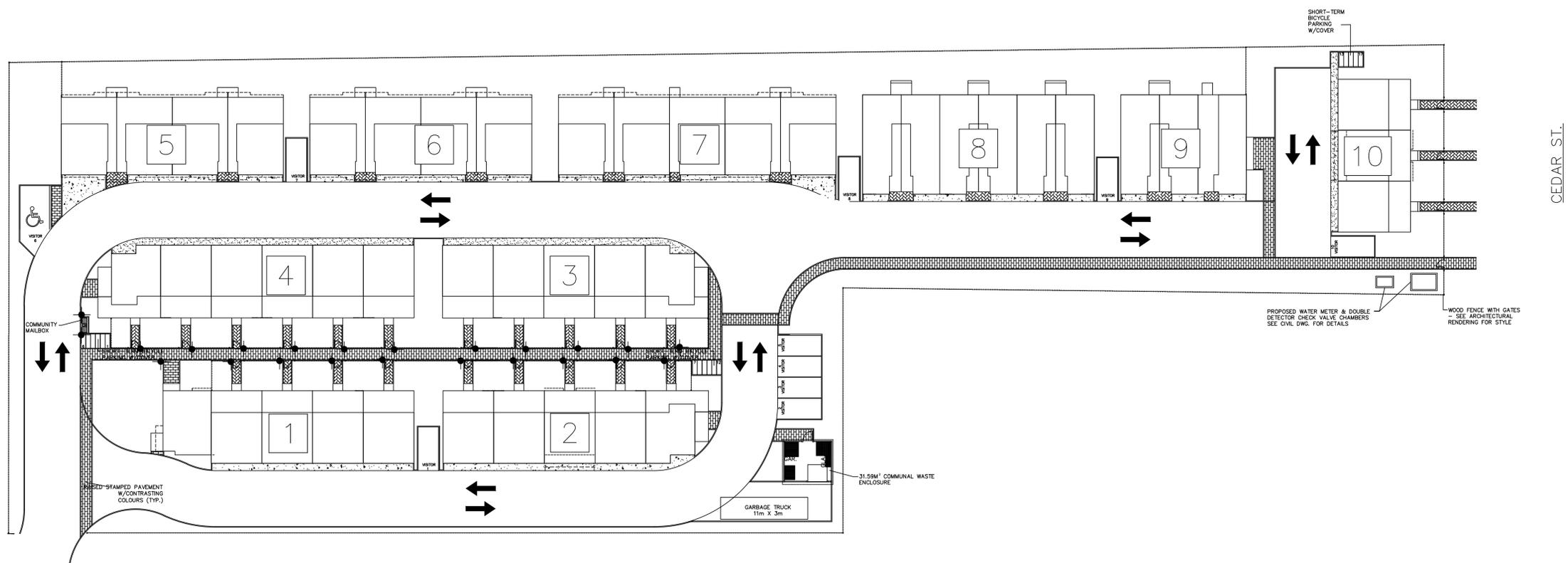
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 info@trioarchitecture.ca
 604.654.3740
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 Abbotsford, BC V2S 1S2

Architectural Seal

project: **PROPOSED DEVELOPMENT**
 9099, 9107 & 9111 CEDAR STREET
 MISSION, B.C.

date: June 2024
 scale: AS NOTED
 drawn: S.K. / A.W.
 checked: D.H.
 project no: 221042
 sheet no: **A-3.18**

Information Package - Page 50



↑

- STAMPED CONCRETE
- GRAVEL
- CONCRETE PAVERS
- CONCRETE
- STAMPED ASPHALT
- BOLLARD LIGHTING

DATE	REMARKS	NO.
REVISIONS		

C.KAVOLINAS & ASSOCIATES INC
 BCSLA CSLA
 2462 JONQUIL COURT
 ABBOTSFORD, B.C.
 V3G 3E8
 PHONE (604) 857-2376

CLIENT
 PAPAS CONSTRUCTION
 c/o D & D DESIGN INC.
 ATTENTION: DARREN HALL
 UNIT B
 33623 WILDWOOD DRIVE
 ABBOTSFORD, B.C. V2S 1S2
 604-

TITLE
 PLAN VIEW
 HARDSCAPE/LIGHTING
 50 UNIT
 TOWNHOUSE DEVELOPMENT
 9009 9107 9111 CEDAR STREET
 MISSION, B.C.

SCALE 1:300	DATE OCT/24
DRAFT	CHK'D
ENG.	CHK'D
APPR'D	AS BUILT

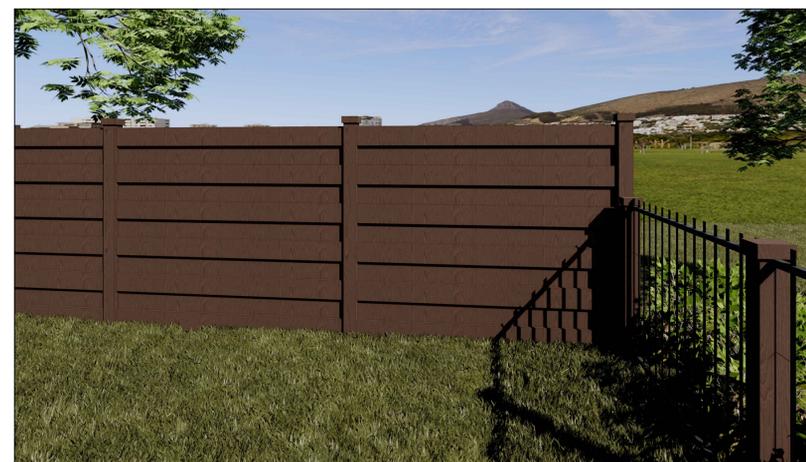
PRINTED	JOB No.
	DRAWING No.
	L-0



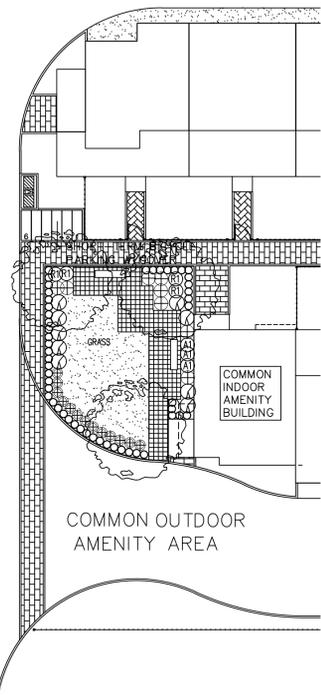
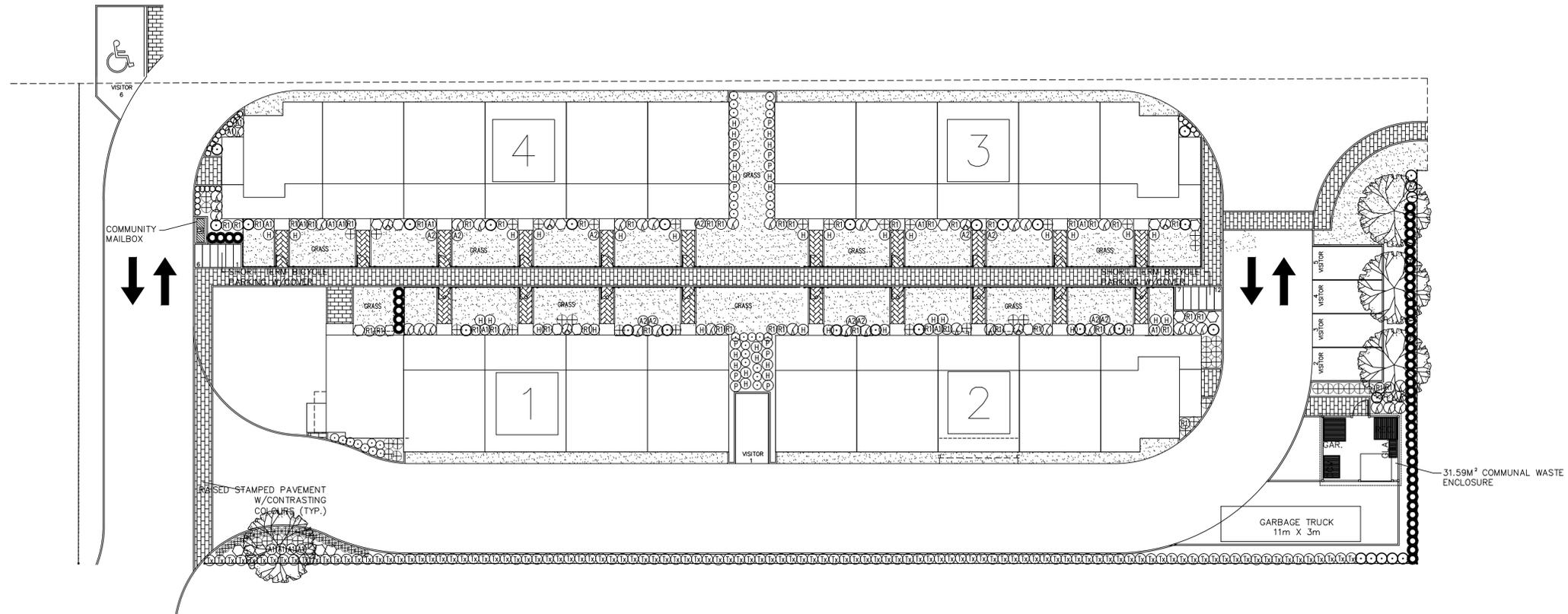
BOLLARD LIGHTING



4' HIGH FRONT YARD FENCE



6' HIGH PERIMETER FENCE



DATE	REMARKS	NO.
REVISIONS		

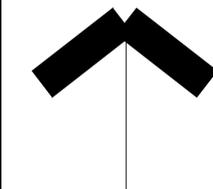
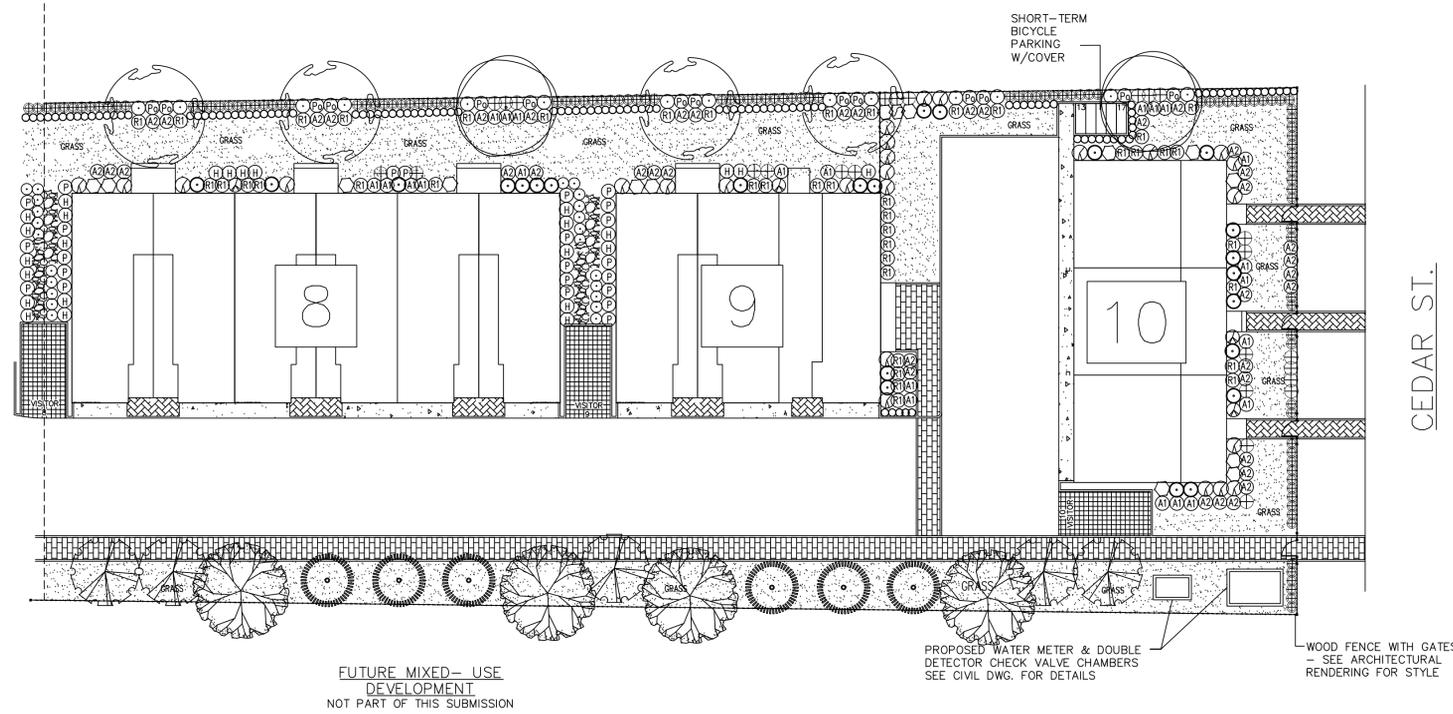
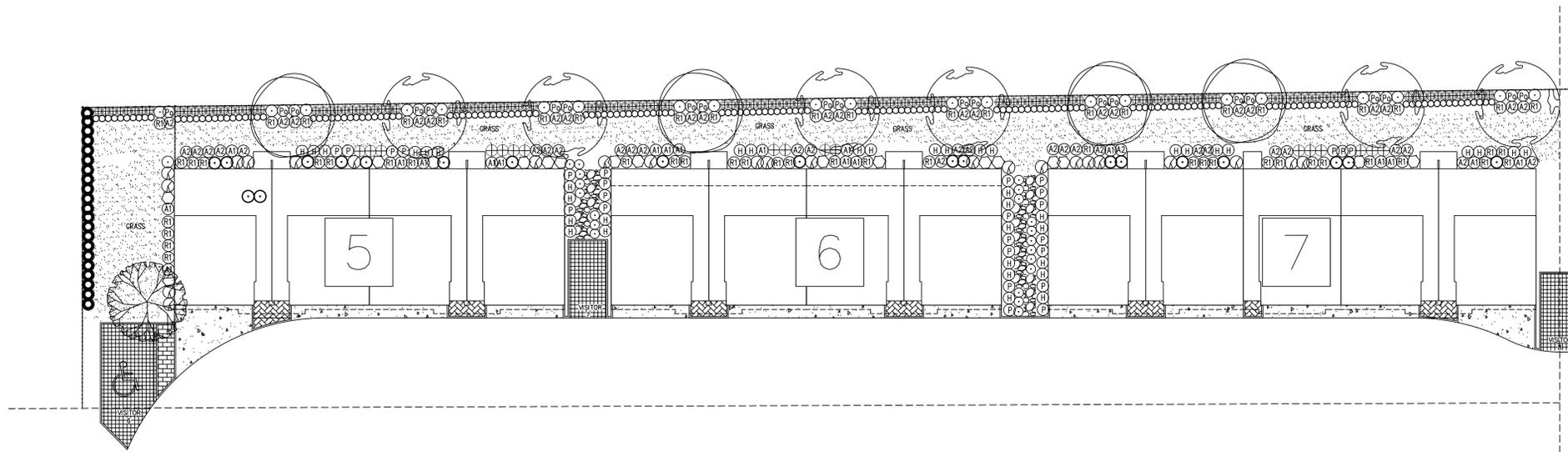
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BCSLA CSLA
2462 JONQUIL COURT
ABBOTSFORD, B.C.
V3G 3E8
PHONE (604) 857-2376

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c/o D & D DESIGN INC.
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33623 WILDWOOD DRIVE
ABBOTSFORD, B.C. V2S 1S2
604-

TITLE
PLAN VIEW
LANDSCAPE PLAN
50 UNIT
TOWNHOUSE DEVELOPMENT
9009 9107 9111 CEDAR STREET
MISSION, B.C.

SCALE 1:200	DATE OCT/24
DRAFT	CHK'D
ENG.	CHK'D
APPR'D	AS BUILT

PRINTED	JOB No.
	DRAWING No.
	L-1A



-  STAMPED CONCRETE
-  GRAVEL
-  CONCRETE PAVERS
-  CONCRETE
-  STAMPED ASPHALT

DATE	REMARKS	NO.
	REVISIONS	

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 ABBOTSFORD, B.C. V2S 1S2
 604-

TITLE
 PLAN VIEW
 LANDSCAPE PLAN
 50 UNIT
 TOWNHOUSE DEVELOPMENT
 9009 9107 9111 CEDAR STREET
 MISSION, B.C.

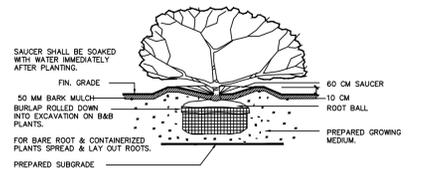
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PRINTED	JOB No.	
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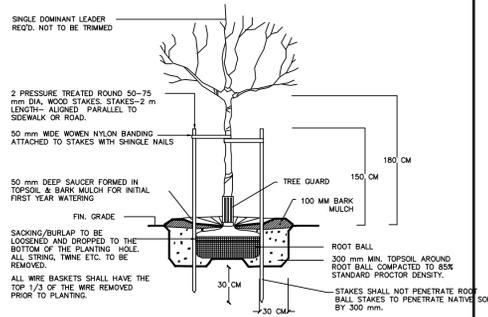
KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING	REMARKS
	QESRUCUS ROBUR 'SKINNY GENES'	SKINNY GENES OAK	5	6 CM. CAL.	AS SHOWN	B. & B.
	PRUNUS YEDOENSIS 'AKEBONO'	DAYBREAK CHERRY	3	6 CM. CAL.	AS SHOWN	B. & B.
	CORNUS FLORIDA 'RUBRUM'	RED FLOWERING DOGWOOD	10	6 CM. CAL.	AS SHOWN	B. & B.
	ACER PALMATUM 'BLOODGOOD'	BLOODGOOD JAP. MAPLE	6	6 CM. CAL.	AS SHOWN	B. & B.
	ACER RUBRUM 'BOWHALL'	BOWHALL RED MAPLE	11	6 CM. CAL.	AS SHOWN	B. & B.
	THUJA PLICATA	WESTERN RED CEDAR	6	3.00 METERS	AS SHOWN	B. & B.
⊕	SARCOCOCCA HOOKERANA HUMILIS	HIMALAYAN SWEET BOX	88	#3 POT	65 CM. O.C.	
⊕	AZALEA JAPONICA 'HINO CRIMSON'	CRIMSON AZALEA	85	#3 POT	90 CM. O.C.	
⊕	AZALEA NORTHERN LIGHTS 'MANDARIN LIGHTS'	NORTHERN LIGHTS AZALEA	57	#3 POT	90 CM. O.C.	
⊕	AZALEA JAPONICA (VARIOUS)	AZALEA	106	#3 POT	90 CM. O.C.	
⊕	ABELIA 'EDWARD GOUCHER'	EDWARD GOUCHER ABELIA	46	#3 POT	90 CM. O.C.	
⊕	BUXUS MACROPHYLLA 'WINTER GEM'	ASIAN BOXWOOD	264	#3 POT	45 CM. O.C.	
⊕	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	HYDRANGEA	86	#3 POT	90 CM. O.C.	
⊕	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	15	#3 POT	90 CM. O.C.	
⊕	SPIRAEA x BUMALDA 'GOLD FLAME'	GOLD FLAME SPIRAEA	56	#3 POT	90 CM. O.C.	
⊕	POTENTILLA FRUITICOSA 'PINK WHISPER'	SHRUBBY CINQUEFOIL	37	#3 POT	90 CM. O.C.	
⊕	MEDIUM RHODODENDRON (VARIOUS)	RHODODENDRON	141	#3 POT	90 CM. O.C.	
⊕	POLYSTICHUM MUNITUM	SWARD FERN	58	#3 POT	90 CM. O.C.	
⊕	HOSTA (VARIOUS)	HOSTA	90	#3 POT	90 CM. O.C.	
⊕	SYRINGA VULGARIS 'MICHEL BUCHNER'	LILAC	74	#3 POT	90 CM. O.C.	
⊕	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	246	#3 POT	90 CM. O.C.	
⊕	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD ARBORVITAE	64	1.50 METERS	70 CM. O.C.	
⊕	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD ARBORVITAE	131	1.80 METERS	70 CM. O.C.	

- NOTES / GENERAL**
- PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO BC LANDSCAPE STANDARD "LATEST EDITION". CONTAINER SIZES ARE SPECIFIED AS PER "ONTA STANDARDS" BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. SEARCH AND REVIEW, MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY "LANDSCAPE ARCHITECT" AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. "SUBSTITUTIONS" MUST OBTAIN WRITTEN APPROVAL FROM THE "LANDSCAPE ARCHITECT" PRIOR TO MAKING ANY SUBSTITUTIONS TO SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE WORKING DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO "B.C. LANDSCAPE STANDARD"
 - ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED "DISEASE FREE" NURSERY. ALL PLANT MATERIAL MUST CONFORM TO THE LATEST EDITION OF THE "BC LANDSCAPE STANDARD". PROVIDE CERTIFICATION UPON REQUEST. ALL LANDSCAPE AND LANDSCAPE MATERIALS TO CONFORM TO THE LATEST EDITION OF THE BC/LNA/BCSLA "LANDSCAPE STANDARDS"
 - MIN. GROWING MEDIUM DEPTHS OVER PREPARED SUBGRADE SHALL BE :

LAWN AREAS	300 mm
GROUND COVER AREAS	450 mm
SHRUB AREAS	450 mm
TREE PITS	300 mm AROUND ROOT BALL
 - GROWING MEDIUM SHALL HAVE PHYSICAL AND CHEMICAL PROPERTIES AS DESCRIBED IN THE STANDARDS FOR LEVEL 2 AND LEVEL 3 AREAS, EXCEPT FOR AREAS OVER STRUCTURES WHERE THE MEDIUM SHALL CONFORM TO THE REQUIREMENTS FOR LEVEL 1 APPLICATIONS. PROCESSING AND MIXING OF GROWING MEDIUM COMPONENTS SHALL BE DONE OFF-SITE USING A MECHANIZED SCREENING PROCESS. PROPOSED GROWING MEDIUM SHALL BE TESTED BY A RECOGNIZED LABORATORY. THE CONTRACTOR SHALL GUARANTEE THAT THE SOIL SUBMITTED FOR TESTING IS A REPRESENTATIVE SAMPLE TAKEN FROM THE SOIL THAT WILL BE USED AT THE SITE.
 - ON-SITE OR IMPORTED SOILS SHALL SATISFY THE REQUIREMENTS OF THE STANDARDS FOR GROWING MEDIUM. SOILS SHALL BE VIRTUALLY FREE FROM SUBSOIL, WOOD INCL. WOODY PLANT PARTS, NEST OR REPRODUCTIVE PARTS, OF WEEDS, PLANT PATHOGENIC ORGANISMS, TOXIC MATERIALS, STONES OVER 30 MM AND FOREIGN OBJECTS.
 - ALL PLANTING BEDS SHALL RECEIVE MIN. 50 MM BARK MULCH.
 - PLANT SPECIES AND VARIETIES MAY NOT BE SUBSTITUTED WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
 - THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) FULL YEAR FROM THE DATE OF FINAL ACCEPTANCE, UNLESS OTHERWISE SPECIFIED. ALL PLANT MATERIAL NOT SURVIVING, OR IN POOR CONDITION DURING THE GUARANTEE PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER.
 - THE CONTRACTOR SHALL CLEAR AWAY FROM THE SITE ALL RUBBISH AS IT ACCUMULATES, AND SHALL, AT THE COMPLETION OF THE WORK, LEAVE THE WORK AND THE SITE THEREOF IN A CLEAN AND PRESENTABLE CONDITION, FREE FROM ALL OBSTRUCTIONS.



PLANTING DETAIL - SHRUBS & GRD. COVER PLANTS
SECTION N.T.S.



TREE PLANTING DETAIL
SECTION N.T.S.

DATE			REMARKS			NO.		
REVISIONS								
N.T.S.								

BENCHES

T 800-716-5506
F 877-260-9393
www.maglin.com
sales@maglin.com

MLB450W

MATERIALS: Bench frame is made from H.S. steel tube and flat bar. The seat and back employ wood slats.

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces. Wood slats are finished with penetrating sealers.

INSTALLATION: The bench is delivered pre-assembled. Holes (0.5") are provided in each foot for securing to base.

TO SPECIFY: Select MLB450
Choose:
- Pipe (MLB450W)
- Recycled Plastic (MLB450R)
- for Recycled Plastic select color
- Powdercoat Color

COMPLEMENTARY PRODUCTS:
- MLB400BW
- MLWR400-20W
- MLP400W

DIMENSIONS:
Height: 36.00" (91.4 cm)
Length: 70.00" (177.8 cm)
Depth: 24.67" (62.7 cm)
Seat: 18.00" (45.7 cm)
Weight: 131 lbs (59kg)

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BIKE RACKS

T 800-716-5506
F 877-260-9393
www.maglin.com
sales@maglin.com

MBR100 SERIES

MATERIALS: The bike rack is constructed using H.S. steel tube and an aluminum top casting.

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces. An optional galvanized finish is also available.

INSTALLATION: The bike rack is delivered pre-assembled. It is available with either a surface mount or direct burial installation option.

TO SPECIFY: Select MBR100 Series
Choose:
- Powdercoat Color
- Base Type
- Direct Burial (MBR100-DB)
- Surface Mount (MBR100-S)
- Galvanized Finish
- Direct Burial (MBR100-DB-G)
- Surface Mount (MBR100-S-G)

*MBR100-S surface mount model shown

DIMENSIONS:
Height: 36.00" (91.4 cm) Above Grade
18.00" (45.7 cm) Below Grade
Diameter: 20.00" (50.8 cm)
Weight: 17.0lbs (7.5kg)

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C.KAVOLINAS & ASSOCIATES INC
BCSLA CSLA

2462 JONQUIL COURT
ABBOTSFORD, B.C.
V3G 3E8

PHONE (604) 857-2376

CLIENT

PAPAS CONSTRUCTION
c/o D & D DESIGN INC.
ATTENTION: DARREN HALL
UNIT B
33623 WILDWOOD DRIVE
ABBOTSFORD, B.C. V2S 1S2
604-

TITLE

PLAN VIEW

LANDSCAPE DETAILS
50 UNIT
TOWNHOUSE DEVELOPMENT
9009 9107 9111 CEDAR STREET
MISSION, B.C.

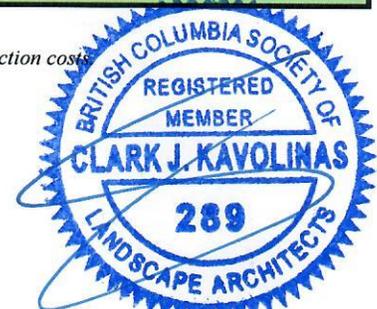
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DRAFT		CHK'D	
ENG.		CHK'D	
APP'D		AS BUILT	

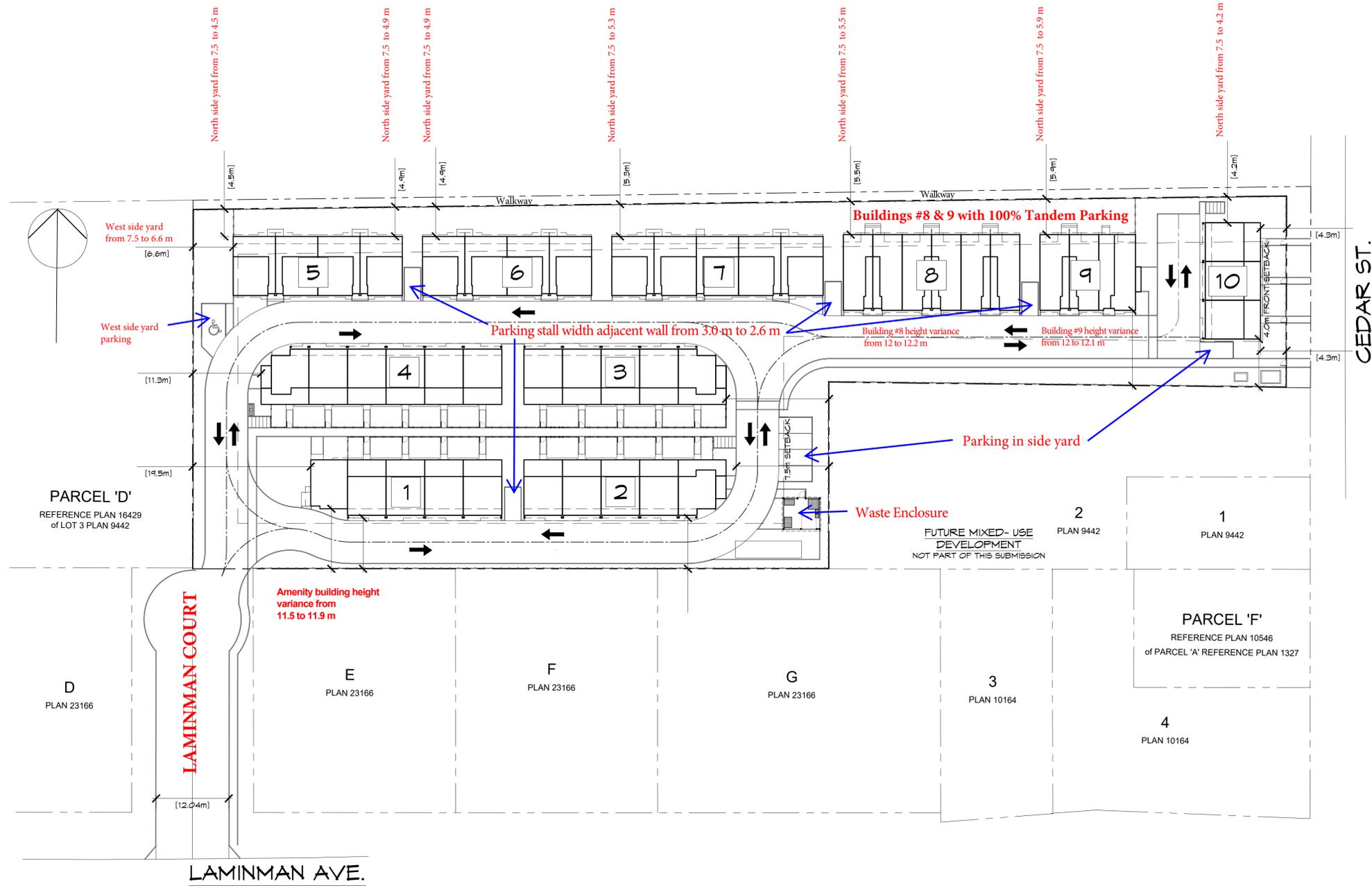
PRINTED	JOB No.	△
	DRAWING No.	
L-1B		

Attachment E - Draft Development Permit

ON-SITE LANDSCAPING		Prepared by: C. Kavolinas & Assoc. Inc.			
Security bond required for Building Permit		e: clark@kavolinas.ca			
Date:	23-Oct-24	Project Address:	9009, 9107, 9111 Cedar Street		
Townhouse Development		Mission, BC			
Item	Size	Unit	Qty	Unit Cost	Bonding
SOFT LANDSCAPE					
Trees:					
Coniferous Trees: Thuja Plicata	3.0m	each	6	400	2400
Decidious Trees: Quercus Robur 'Skinny Genes'	6cm	each	5	400	2000
Prunus Yedoensis 'Akebono'	6cm	each	3	400	1200
Cornus Florida 'Rubrum'	6cm	each	10	400	4000
Acer Palmatum 'Bloodgood'	6cm	each	6	400	2400
Acer Rubrum 'Bowhall'	6cm	each	11	400	4400
Shrubs: Sarcococca Hookerana Humilis	#3 pot	each	88	35	3080
Azalea Japonica 'Hino Crimson'	#3 pot	each	85	35	2975
Azalea Northern Lights 'Mandarin Lights'	#3 pot	each	57	35	1995
Azalea Japonica (Various)	#3 pot	each	106	35	3710
Abelia 'Edward Gowcher'	#3 pot	each	46	35	1610
Buxus Macrophylla 'Winter Gem'	#3 pot	each	264	35	9240
Hydrangea Macrophylla 'Nikko Blue'	#3 pot	each	86	35	3010
Vaccinium Ovatum	#3 pot	each	15	35	525
Spiraea x Bumalda 'Gold Flame'	#3 pot	each	56	35	1960
Potentilla Fruiticosa 'Pink Whisper'	#3 pot	each	37	35	1295
Medium Rhododendron (various)	#3 pot	each	141	35	4935
Polystichum Munitum	#3 pot	each	58	35	2030
Hosta (various)	#3 pot	each	90	35	3150
Syringa Vulgaris 'Michel Buchner'	#3 pot	each	74	35	2590
Prunus Laurocerasus 'Otto Luyken'	#3 pot	each	246	35	8610
Thuja Occidentalis 'Smaragd'	1.50m	each	64	45	2880
Thuja Occidentalis 'Smaragd'	1.80m	each	131	45	5895
Topsoil: Topsoil	Area	m ³	758	28	21224
SOFT LANDSCAPE -SUBTOTAL					97114
Item	Size	Unit	Qty	Unit Cost	Bonding
HARD LANDSCAPE					
4' high Fence	4' high	lm	56	65	3640
6' high Fence	6' high	lm	410	110	45100
HARD LANDSCAPE - SUB-TOTAL					48740
Item	Size	Unit	Qty	Unit Cost	Bonding
SITE FURNISHINGS					
Bollard Lights		each	38	850	32300
Amenity Maglin Benches		each	2	1200	2400
SITE FURNISHINGS -SUBTOTAL					34700
Soft Landscape					97114
Hard Landscpe					48740
Site Furnishings					34700
SUB TOTAL					180554
10% contingency					18055
TOTAL					198609

This estimate is for bonding only. C. Kavolinas & Associates Inc. is not responsible for any discrepancies in construction costs.





1 KEY PLAN (45 UNITS)
A-1.1 SCALE: 1/32" = 1'-0"

ISSUE TABLE	
No.	Description
1	ISSUED FOR DEVELOPMENT PERMIT

REVISIONS	
No.	Description

TRIOARCHITECTURE.CA

TRIO Architecture Inc.
 info@trioarchitecture.ca
 604.654.3740

Unit B 33623 Wildwood Drive
 Abbotsford, BC V2S 1S2

Architectural Seal

project: **PROPOSED DEVELOPMENT**
 9099, 9107 & 9111 CEDAR STREET
 MISSION, B.C.

drawing: **SETBACK VARIANCES**

date: November 2024
 scale: AS NOTED
 drawn: A.W.
 checked: D.H.
 project no. 221042
 sheet no. **A-1.b**

Attachment G - Development Variance Permit DV22-027

**CITY OF MISSION
DEVELOPMENT VARIANCE PERMIT DV22-027**

Issued pursuant to Section 498 of the *Local Government Act*

Issued to:

1244805 BC Ltd. Inc. No. BC 1244805

Paramveer Singh Tiwana

Amarjeet Singh Sekhon

(Owner as defined in the Local Government Act, hereinafter referred to as the Permittee)

Address:

1244805 BC Ltd. Inc. No. BC 1244805

Preet Dhillon

PO Box 712 Station A

Abbotsford BC V2T 6Z8

Paramveer Singh Tiwana

30611 Sandpiper Drive

Abbotsford BC V2T 1R1

Amarjeet Singh Sekhon

Preet Kawal Singh Dhillon

32109 Pineview Avenue

Mission BC V2T 1R1

as the registered owner (hereinafter referred to as the Permittee) and shall only apply to ALL AND SINGULAR that certain parcel or tract of land and premises situate, lying and being in the Municipality of Mission, in the Province of British Columbia, and more particularly known and described as:

Address: 9107 Cedar Street
Parcel Identifier: 009-261-834
Legal Description: Lot "A" Section 32 Township 17 NWD Plan 10182

Address: 9111 Cedar Street
Parcel Identifier: 009-261-869
Legal Description: Lot "B" Section 32 Township 17 NWD 10182

Attachment G - Development Variance permit DV22-027

Address: 9099 Cedar Street
 Parcel Identifier: 011 301 774
 Legal Description: Lot 3 Except Parcel "D" (Reference Plan 16429); Section 32, Township 17 NWD Plan 9442

1. The said lands are zoned Multi-unit Townhouse One Zone pursuant to "District of Mission Zoning Bylaw 5949-2020" as amended.
2. "District of Mission Zoning Bylaw" as amended is hereby varied in respect of the said lands as follows:

Section 109 Off-street Motor Vehicle Parking Regulations (Townhouse) MT1		
Category	Required	Amended to
Composition of Tandem Parking.	A maximum of 25% of all Dwelling Units in a Townhouse development may have Parking (Tandem) and a maximum of 50% of all Dwelling Units in a Townhouse building may have Parking (Tandem)	No change Buildings 8 & 9 have 100% tandem parking representing 20% of the overall parking requirement.

3. This Permit does not constitute a subdivision approval or a building permit.
4. This Permit applies only to the development or construction proposed within the associated Staff Report and does not apply to future construction or reconstruction.

AUTHORIZING RESOLUTION NO. [Click here to type resolution number] passed by the Council on the [Click here to type day of the month] day of [Click here to type month] , 20.

IN WITNESS WHEREOF this Development Variance Permit is hereby issued by the

Municipality signed by the Mayor and the Corporate Officer the

[Click here to type day of the month] day of [Click here to type month] , 2025.

MAYOR

CORPORATE OFFICER

Development Variance Permit DV23-010



November 25, 2024

9099, 9107 & 9111 Cedar Street, Mission
P2022-104
City Council Comments

We have reviewed the council meeting recording and the comments provided by staff and will respond to each item in point form as follows:

Design Rationale:

The building has been designed with both horizontal and vertical articulation with a combination of siding materials including cultured stone, fibre cement board and composite panel that all compliment each other for a modern contemporary look. All buildings have the same exterior materials for a cohesive feel throughout the development. The box outs have a horizontal composite panel, or equivalent, with a rich walnut wood finish that tie to the matching front doors. The main and upper level are enveloped in a lighter board and batten which draws the eye up to a rooftop patio. We have maximized the windows on the front and rear facades so there are no large blank wall areas which encourages natural light and energy savings but have minimized the windows on walls that are close to neighboring units to maximize everyone's privacy. All the garage entries are from the common strata roads, none will have access to city roads. All main floor balconies are recessed from the main façade and have full height partition walls to increase the privacy for each unit. All balconies and rooftop decks have the same exterior materials with aluminum and glass railings compliment the exterior design. The Architectural design package shows a rendering of the front of Building 10 facing Cedar Street (Sheet A-0.3 – View 6), as well as other exterior complex views from different sides of the complex which gives a very good representation of what you see from different perspectives of neighboring properties.

Variances:

#1 - Setbacks

The first variance is for the setback on the north property line for buildings five through ten to reduce from 7.50m to 4.28m and the second is for the west side of building five to reduce from 7.50m to 6.69m. These setback adjustments respond to the immediate context of the site. The reduced setback along the north property line faces a future schoolyard, ensuring no adverse impact on residential neighbors or pedestrian connectivity. The closer placement enhances passive surveillance of the schoolyard, fostering a safer public realm. These adjustments allow for a more efficient and functional site layout while respecting adjacent uses. Extensive landscaping along the reduced setbacks on the north and west sides to create a visual buffer and enhance privacy for adjacent uses. Building orientation ensures minimal disruption to the adjacent schoolyard and neighboring properties, maintaining open sightlines and encouraging passive surveillance of the schoolyard and improving public safety to fall in line with the principles of CPTED. The compact setback allows for optimized site use and to be able to preserve greenspace elsewhere on the property while maintaining a sense of openness and community integration.

Variances Cont'd:

#2 – Building Height

We are requesting a variance for buildings #8 and #9 to increase from 12.0m to 12.15m and the to increase the height of the amenity building from the maximum of 11.50m to 11.89m to match the three-storey height of the adjacent townhomes. The amenity building is attached to a townhouse block and is still lower than maximum permitted for the actual units. The marginal height increase of 0.15m is necessary to respond to the sloping grade from east to west, reducing the need for extensive and disruptive retaining walls. This ensures a more natural integration with the site's topography. By aligning the amenity building's height with the adjacent three-storey townhomes, the development presents a cohesive and visually appealing streetscape. The minor increase does not visually overwhelm the neighborhood and ensures architectural harmony. The variance supports the principle of "place-making" by creating an inviting and context-sensitive design while addressing grading constraints. Landscaping and stepped building designs mitigate any abrupt height transitions between structures and creates a cohesive streetscape and enhanced architectural harmony.

#3 – Parking in Setback

We are requesting a variance for parking stalls #2-#5 on the east side and stall #6 on the west side located within the setback. Locating these stalls within the setback optimizes site efficiency, ensuring functional parking solutions without compromising pedestrian circulation. Extensive landscaping around these parking stalls minimizes the visual impact on neighboring properties, maintaining the aesthetic quality of the development. The design mitigates concerns through visual buffers, and careful planning ensures no disruption to neighboring residents. Parking stalls #2-#5 border a property that is in the OCP to be NC1 which will have a parkade above grade, meaning there will be no impact on the neighboring development.

#4 – Tandem Parking

The overall development meets the bylaw for under 25% tandem parking with only 9 out of 45 units containing tandems (equal to 20%). We are requesting a variance for building #8 and #9 to achieve 100% tandem parking which exceeds the 50% maximum in a building. Tandem parking provides greater efficiency of land use and the design layout for these units while meeting the parking requirements for residences. The application predates recent changes to the bylaw, and the initial design of Buildings #8 and #9 incorporated tandem parking to optimize space and functionality. The arrangement is common in comparable townhouse developments and offers a practical solution without compromising usability. It provides a convenient solution for families with multiple vehicles who are looking for affordable smaller units that provide similar luxuries to larger units with side-by-side garages. Tandem garage units require that the upper floors interlock to enable 3 bedrooms in a narrow 16'-0" wide unit. Because of the interlocking requirement you need to have an even number of these types of units in each building. The second issue is that the parking bylaw requires a tandem garage be a minimum of 40'-0" deep, whereas a double garage is only required to be 20'-0" deep. This causes a distinct form & character architectural design issue; these types of units are much better to be designed in in one building and not mixed with double car garage units. We understand that council wants to limit the number of tandem garages, but we think that the number of tandem units in a building should not be restricted.

These concessions and urban design highlights underscore the project's thoughtful approach to balancing bylaw requirements with the practical realities of site development. Each variance is carefully designed to address specific challenges while aligning with the City's goals of sustainable, aesthetically pleasing, and community-oriented urban design.

Please let us know if you require any further information to move this project forward to 1st, 2nd and 3rd readings at council.

Regards

Darren Hall

Darren Hall
Trio Architecture Inc

Attachment I - Public Engagement Summary Letter



November 6, 2024

City of Mission

Re: Public Engagement Summary
Project: 9099, 9107 & 9111 Cedar Street, Mission
City File: P2022-104

On November 5, 2024, a Public Information Meeting was held at the Mission Leisure Centre from 5:00pm to 7:00pm for the proposed Townhome project at the above noted addresses. Two representatives from our firm, the File Manager, Marcy Bond, the developers and Councillor Plecas attended this meeting. Owners from three neighboring properties on Laminman showed up to the meeting. Verbal comment was noted as positive from the owners to see the area developed and cleaned up as they feel that some of the properties in the area need to be cleaned up and have become unsightly. Overall, they liked the look of the design.

One written comment was received from the owners of 32727 Laminman Ave. and was addressed in person as noted below:

1. Owners are concerned with drainage on the north end of their property as it floods often and that the development may increase the amount of water or prevent it from draining. The owner was advise that the developers are required to have all water drained and retained within the development site.

Our sign in and comment sheets are attached for your records. No further comments or questions have come forward through any other correspondence for this project. We ask that the City takes this into consideration to move forward with AIP.

Regards,

Darren Hall

Darren Hall

Darren.h@trioarchitecture.ca
604-854-3740